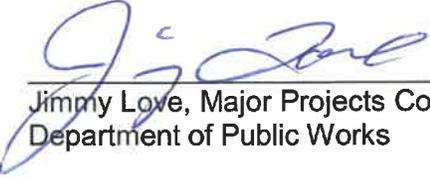


**CITY OF NORTH LAS VEGAS**  
**INTEROFFICE MEMORANDUM**

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To: Bryan Saylor, Planner, Land Development & Community Services  
From: Jimmy Love, Major Projects Coordinator, Department of Public Works  
Subject: VN- 01-2023 **N15 Phase IV**  
Date: February 7, 2023

The Department of Public Works has reviewed this application and has no objection to allow an additional 5' of retaining where 6' is the maximum allowed (maximum retaining of 11' on a single retaining wall, in lieu of the standard tiered retaining walls).



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Jimmy Love, Major Projects Coordinator  
Department of Public Works



January 24, 2023  
Job No. 291717001

**City of North Las Vegas  
Current Planning  
2250 Las Vegas Boulevard North  
North Las Vegas, NV 89030**

**RE: N15 Phase IV  
Variance Letter of Intent**

To Whom It May Concern,

On behalf of Seefried Industrial Properties, Inc, we are requesting a variance for a maximum height 11' retaining wall in lieu of tiered retaining walls.

The existing terrain of the site has approximately 25' of fall from north to south, with the existing southerly street, El Campo Grande Avenue, constraining the south end of the site. The required driveway connections along existing westerly street, Nicco Way, and easterly street, N. Sloan Lane are also constraining the southern portion of the site. The existing topography conditions described above result in a finished grade at the southern portion of Building 2 that is significantly higher than the existing grade, with the largest grade differences being at the southwestern and southeastern corners of the building, near where access doors are located. Additionally, there is a large quantity of on-site surface storm flow that needs to be captured in two detention basins located at the southwest and southeast corners of the site.

Due to the existing terrain, improvements, upstream surface flows and associated proposed drainage detention basins, along with the required maintenance access to the proposed basins, the buildable area of the site has been reduced. To maintain the tenant-required building square footage along with meeting parking and ADA requirements as well as providing truck drive aisles, we are requesting the variance for on-site retaining walls, maximum height of 11', in lieu of the standard tiered retaining walls that would cause the site to lose additional linear footage. The variance request is for an additional 5' of retaining where 6' is the max allowed per Title 17.

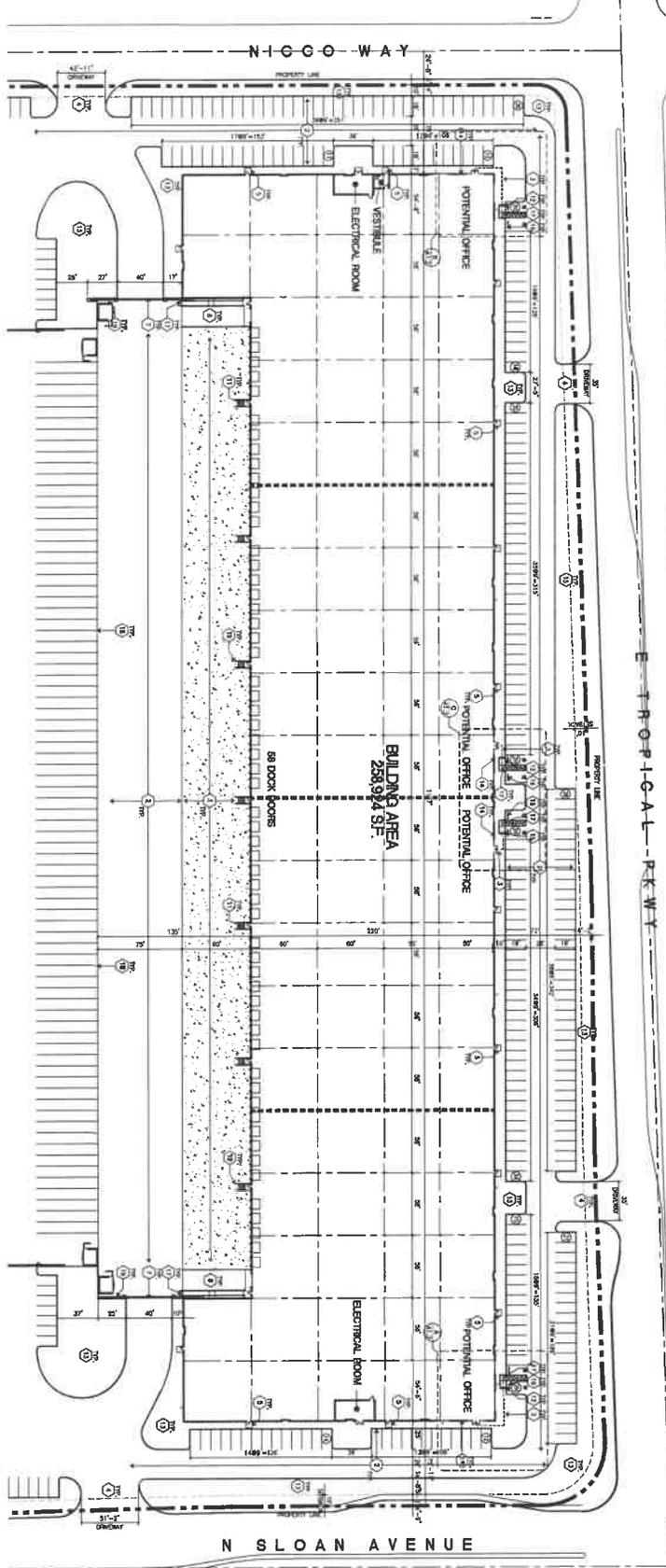
The proposed project is industrial in nature and conforms to the other developments in the area. The installation of 11' retaining walls will improve the functionality of the site and will not be detrimental to the aesthetics of the area.

We look forward to meeting with staff to discuss this project and move forward with the development of the site.

Sincerely,  
KIMLEY-HORN



JaLynn Zito, E.I.



**SITE PLAN KEYNOTES**

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**SITE PLAN GENERAL NOTES**

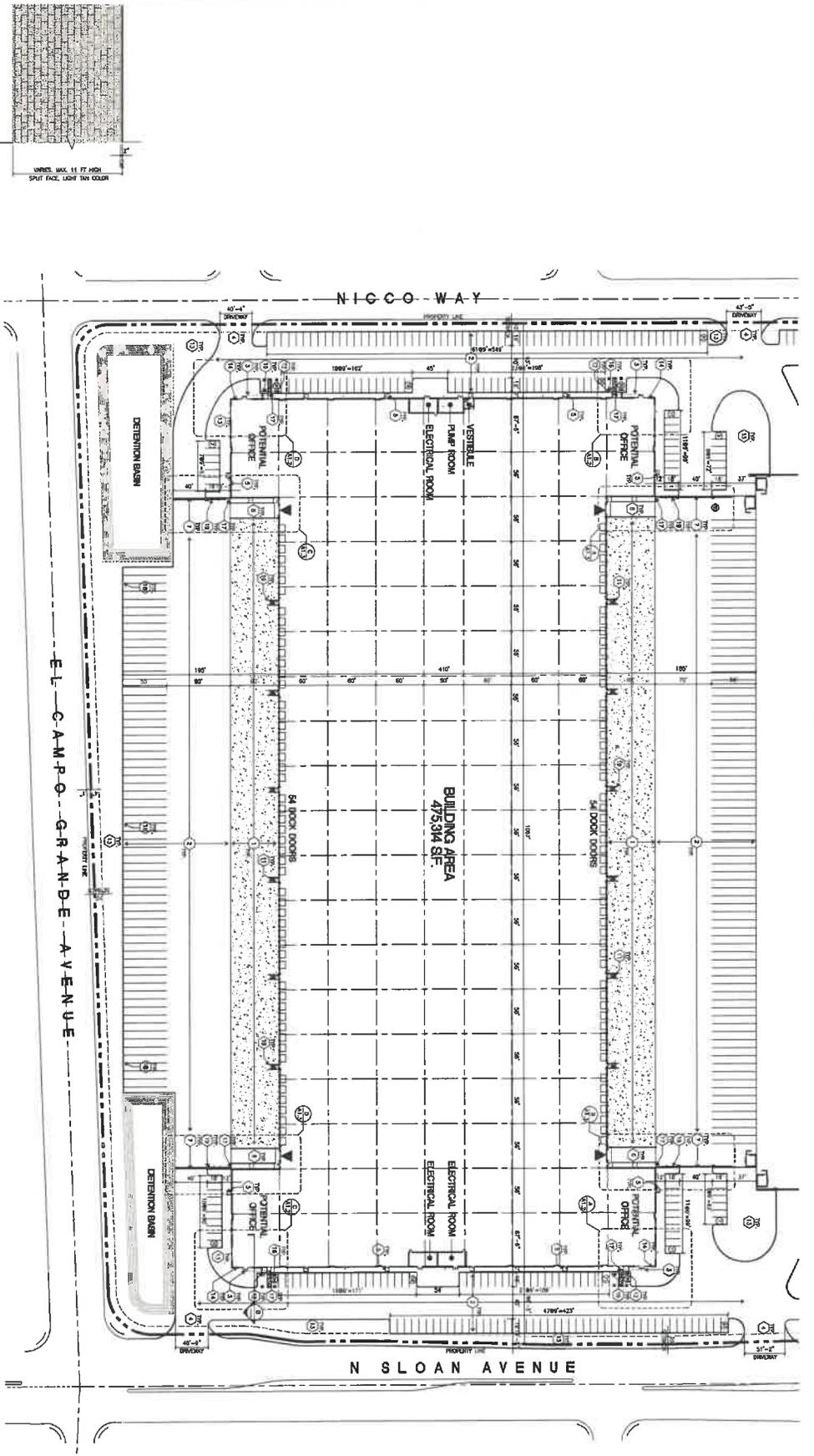
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<p><b>CLIENT:</b> GREENRIED NUTRITION ENTERPRISES</p> <p>2201 East Connecticut Rd. Pittsfield, MA 01201 Tel: (413) 573-7170</p>	<p><b>PROJECT:</b> PHASE 4 BUILDING 1</p> <p>North Lake Village, MA</p>	<p><b>CONSULTANTS:</b> CITYLL STRUCTURAL PLUMBING ELECTRICAL MECHANICAL LANDSCAPE EXTERIOR</p>	<p><b>DATE:</b> 1/2013</p>	<p><b>PROJECT NUMBER:</b> 1023</p>	<p><b>DATE:</b> 1/2013</p>						
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CHALKBOARD WALL TOP ELEVATION  
SCALE: 1/4" = 1'-0"

**SITE PLAN KEYNOTES**

1. CONCRETE FOUNDATION WALLS SHALL BE 12" THICK.
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**SITE PLAN GENERAL NOTES**

1. SEE SITE PLAN SHEET FOR THE EXISTING IMPROVEMENTS BY THE CITY AND LOCAL DEPARTMENT OF PUBLIC WORKS.
2. ALL UTILITIES SHALL BE DEEPER THAN THE FINISH GRADE AT THE EXISTING LOCATIONS.
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**SITE PLAN GENERAL NOTES**

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|  | CONCRETE FOOTING - SEE DETAIL   |
|  | FOUNDATION WALL - SEE DETAIL  |
|  | FOUNDATION SLAB - SEE DETAIL  |
|  | FOUNDATION BEAM - SEE DETAIL  |
|  | FOUNDATION COLUMN - SEE DETAIL  |
|  | FOUNDATION PIER - SEE DETAIL  |
|  | FOUNDATION WALL WITH FOOTING - SEE DETAIL                                       |
|  | FOUNDATION WALL WITH SLAB - SEE DETAIL  |
|  | FOUNDATION WALL WITH BEAM - SEE DETAIL  |
|  | FOUNDATION WALL WITH COLUMN - SEE DETAIL  |
|  | FOUNDATION WALL WITH PIER - SEE DETAIL  |
|  | FOUNDATION WALL WITH FOOTING AND SLAB - SEE DETAIL                              |
|  | FOUNDATION WALL WITH FOOTING AND BEAM - SEE DETAIL                              |
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|  | FOUNDATION WALL WITH FOOTING AND PIER - SEE DETAIL                              |
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|  | FOUNDATION WALL WITH FOOTING AND SLAB AND BEAM AND COLUMN AND PIER - SEE DETAIL |

	18201 TOWNSEND BOULEVARD - SUITE 1100 NORTH LAS VEGAS, NV 89142 PHONE: 702.636.7777 FAX: 702.636.7778 EMAIL: info@riaa.com		SELF-CERTIFIED BY: <b>ROBERT M. JACOB</b> SEAL CERT # 1705-017		2271 East Campbell Rd. Phoenix, AZ 85015 PH: 602.971.8729	Project: <b>PHASE 4          Building 2</b> North Las Vegas, NV.	Consistants: City/State: King/Idaho Structural: King/Idaho Planning: King/Idaho Electrical: King/Idaho Landscape: King/Idaho Foundation: King/Idaho	Sheet: <h1 style="font-size: 2em;">A1.1</h1>
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North Elevation



West Elevation



South Elevation



East Elevation



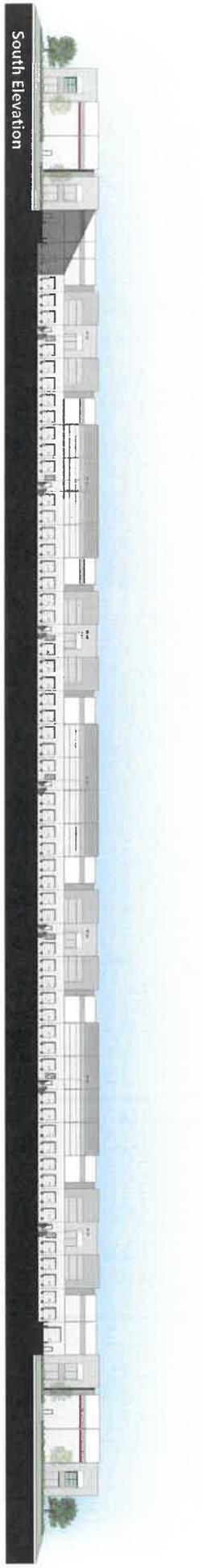
**HPA** Conceptual Elevations Building 2 - 36' clear  
**5960 N SLOAN LN**  
LAS VEGAS, NV 89130



North Elevation



West Elevation



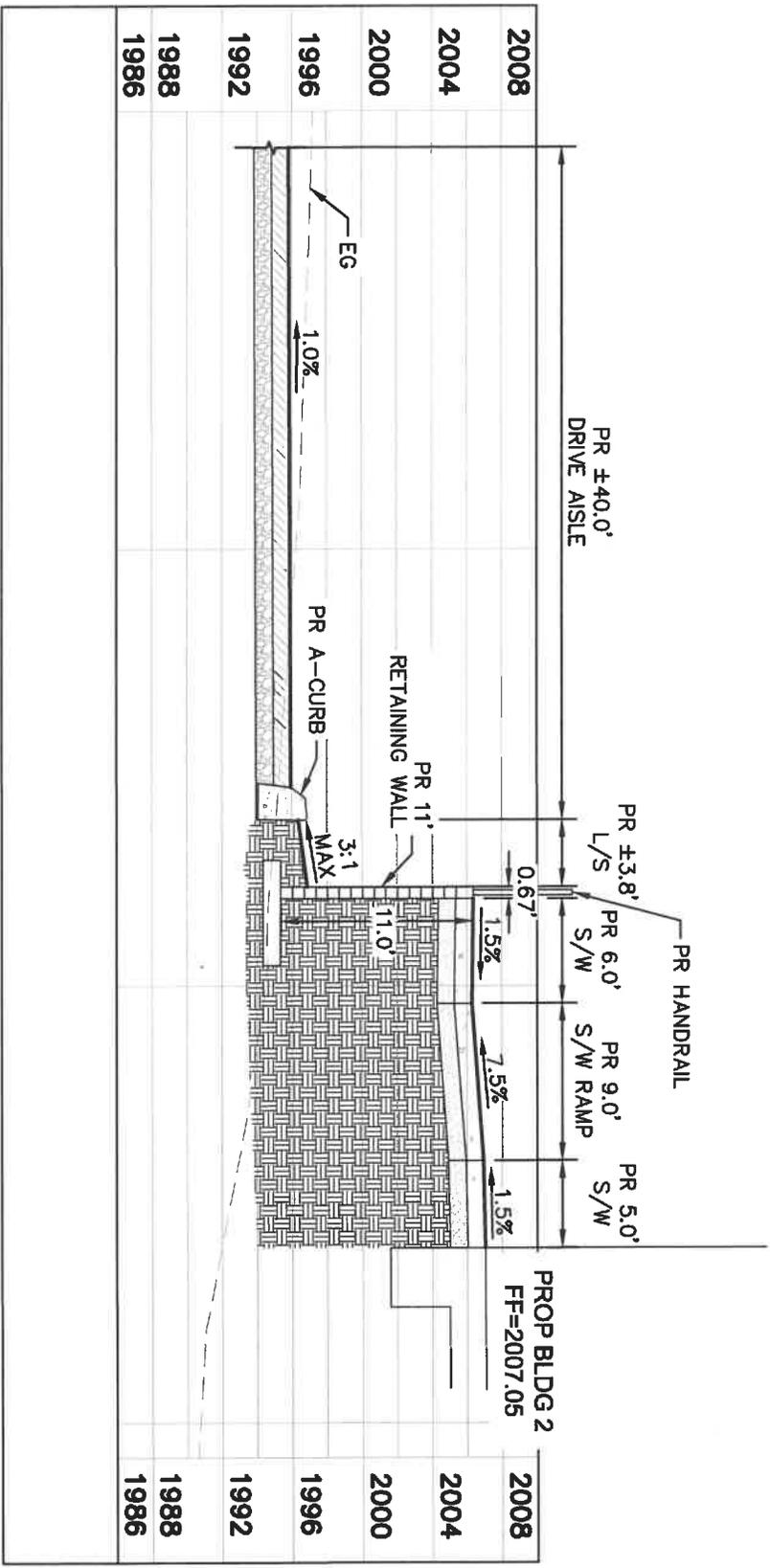
South Elevation



East Elevation

**HPA**  
Conceptual Elevations Building 1 - 36' clear  
**5960 N SLOAN LN**  
Lithia Springs, GA #225716 | 137270000





A  
EXH

EAST OF BLDG 2

SCALE: H: 1"=10'  
V: 1"=1'

NORTH 15 PHASE IV  
CROSS SECTION EXHIBIT  
JANUARY 24, 2023

**NOTES**

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information. See the

USE THIS SCALE WHEN MAP REDUCED FROM 1:1117 ORIGINAL

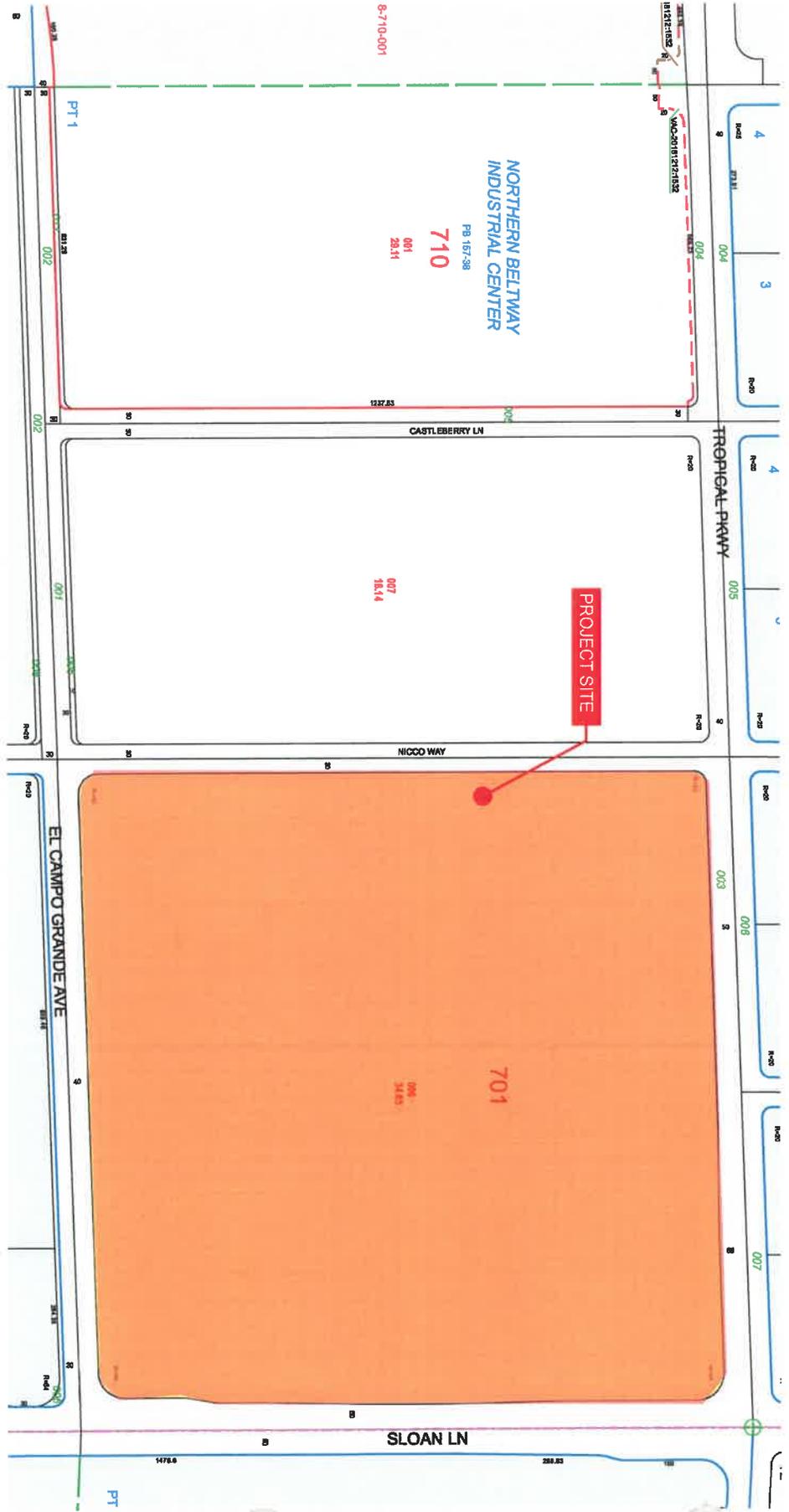
**MAP LEGEND**

- PARCEL BOUNDARY
- SUB BOUNDARY
- PLMD BOUNDARY
- ROAD EASEMENT
- MATCH / LEADER LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- HISTORIC PLMD BOUNDARY
- SECTION LINE
- CONDOMINIUM UNIT
- AIR SPACE POL.
- RIGHT OF WAY POL.
- SUB-SURFACE POL.

**ASSESSOR'S PARCELS - CLARK COUNTY, NV.**  
 Briana Johnson - Assessor

119S R62E	28	N 2 S E 4	123-28-7
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101	102	103	104	105
124	123	122	121	120
139	140	141	142	143

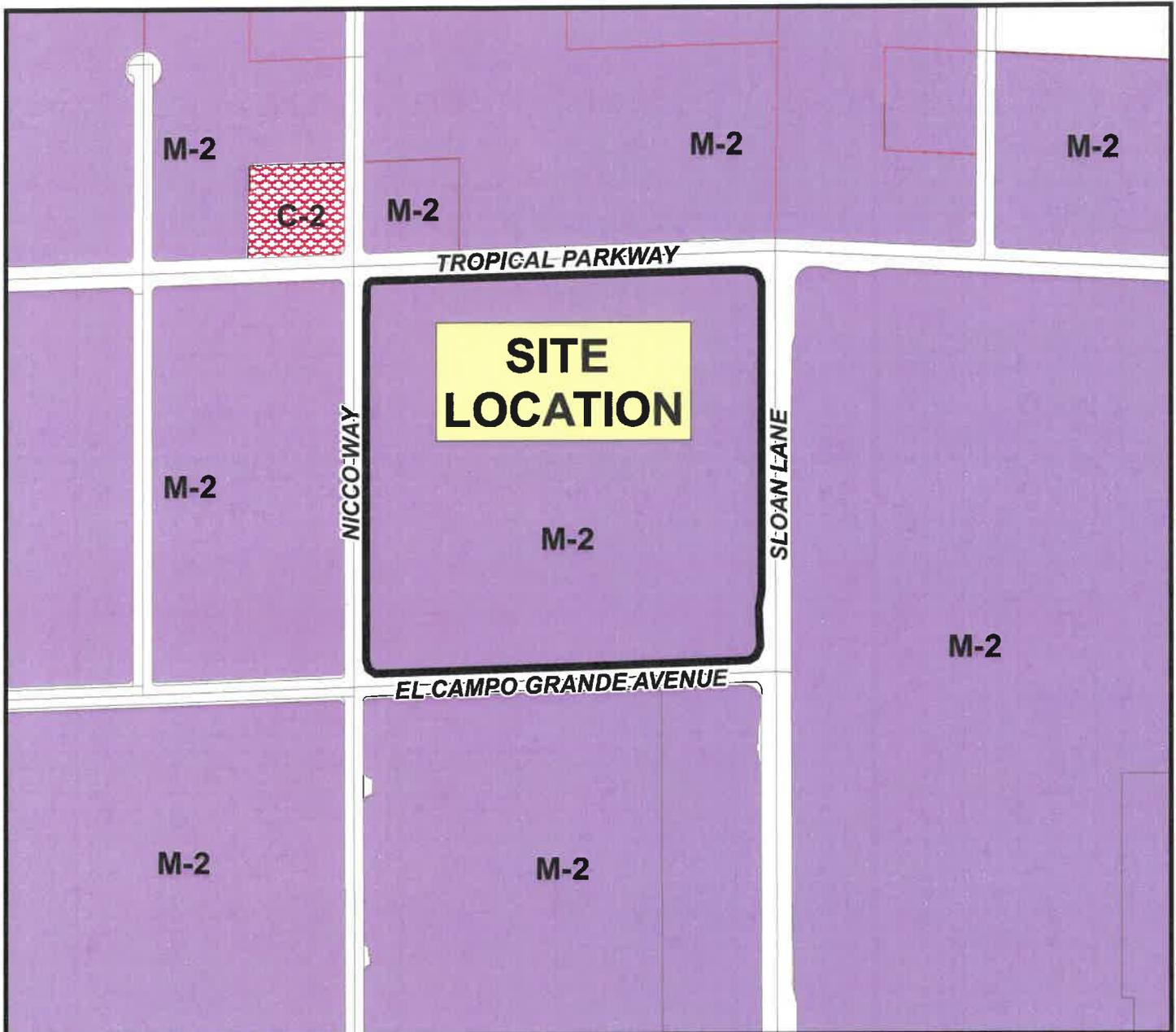


TAX DIST 254



# THE CITY OF NORTH LAS VEGAS

## Location & Zoning Map



Applicant: Seefried Industrial Properties, Inc./ Dan Bick  
Application Type: Variance  
Request: To allow a retaining wall that is over 6 feet in height  
Project Info: Southwest corner of Tropical Parkway and Sloan Lane  
Case Number: VN-01-2023

2/09/2023

