

CITY OF NORTH LAS VEGAS
INTEROFFICE MEMORANDUM

To: Bryan Saylor, Planner, Land Development & Community Services
From: Jimmy Love, Major Projects Coordinator, Department of Public Works
Subject: VN- 01-2023 **N15 Phase IV**
Date: February 7, 2023

The Department of Public Works has reviewed this application and has no objection to allow an additional 5' of retaining where 6' is the maximum allowed (maximum retaining of 11' on a single retaining wall, in lieu of the standard tiered retaining walls).



Jimmy Love, Major Projects Coordinator
Department of Public Works



January 24, 2023
Job No. 291717001

**City of North Las Vegas
Current Planning
2250 Las Vegas Boulevard North
North Las Vegas, NV 89030**

**RE: N15 Phase IV
Variance Letter of Intent**

To Whom It May Concern,

On behalf of Seefried Industrial Properties, Inc, we are requesting a variance for a maximum height 11' retaining wall in lieu of tiered retaining walls.

The existing terrain of the site has approximately 25' of fall from north to south, with the existing southerly street, El Campo Grande Avenue, constraining the south end of the site. The required driveway connections along existing westerly street, Nicco Way, and easterly street, N. Sloan Lane are also constraining the southern portion of the site. The existing topography conditions described above result in a finished grade at the southern portion of Building 2 that is significantly higher than the existing grade, with the largest grade differences being at the southwestern and southeastern corners of the building, near where access doors are located. Additionally, there is a large quantity of on-site surface storm flow that needs to be captured in two detention basins located at the southwest and southeast corners of the site.

Due to the existing terrain, improvements, upstream surface flows and associated proposed drainage detention basins, along with the required maintenance access to the proposed basins, the buildable area of the site has been reduced. To maintain the tenant-required building square footage along with meeting parking and ADA requirements as well as providing truck drive aisles, we are requesting the variance for on-site retaining walls, maximum height of 11', in lieu of the standard tiered retaining walls that would cause the site to lose additional linear footage. The variance request is for an additional 5' of retaining where 6' is the max allowed per Title 17.

The proposed project is industrial in nature and conforms to the other developments in the area. The installation of 11' retaining walls will improve the functionality of the site and will not be detrimental to the aesthetics of the area.

We look forward to meeting with staff to discuss this project and move forward with the development of the site.

Sincerely,
KIMLEY-HORN



JaLynn Zito, E.I.

P. ELEVATION
section 1/4"=1'-0"
B

SITE PLAN KEYNOTES

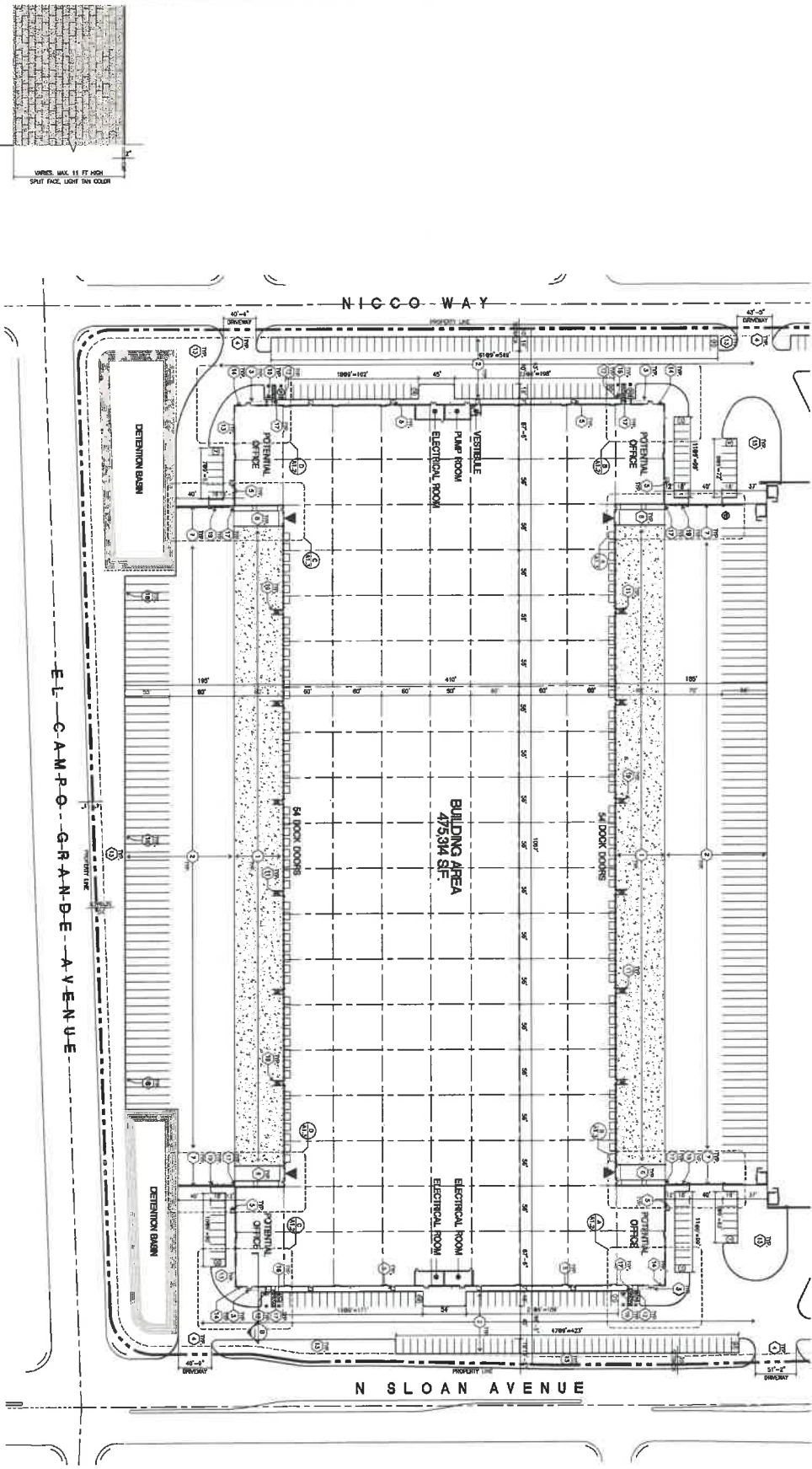
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SITE PLAN GENERAL NOTES

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SITE PLAN GENERAL NOTES

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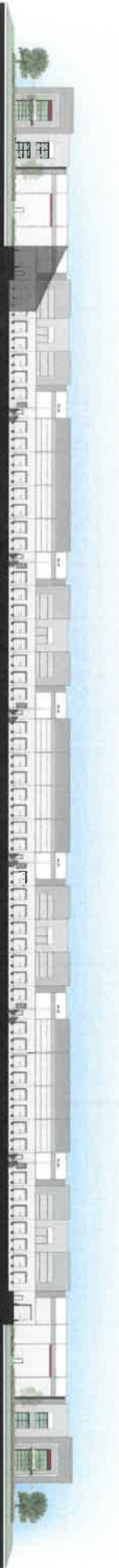
North Elevation



West Elevation



South Elevation



East Elevation



North Elevation



West Elevation

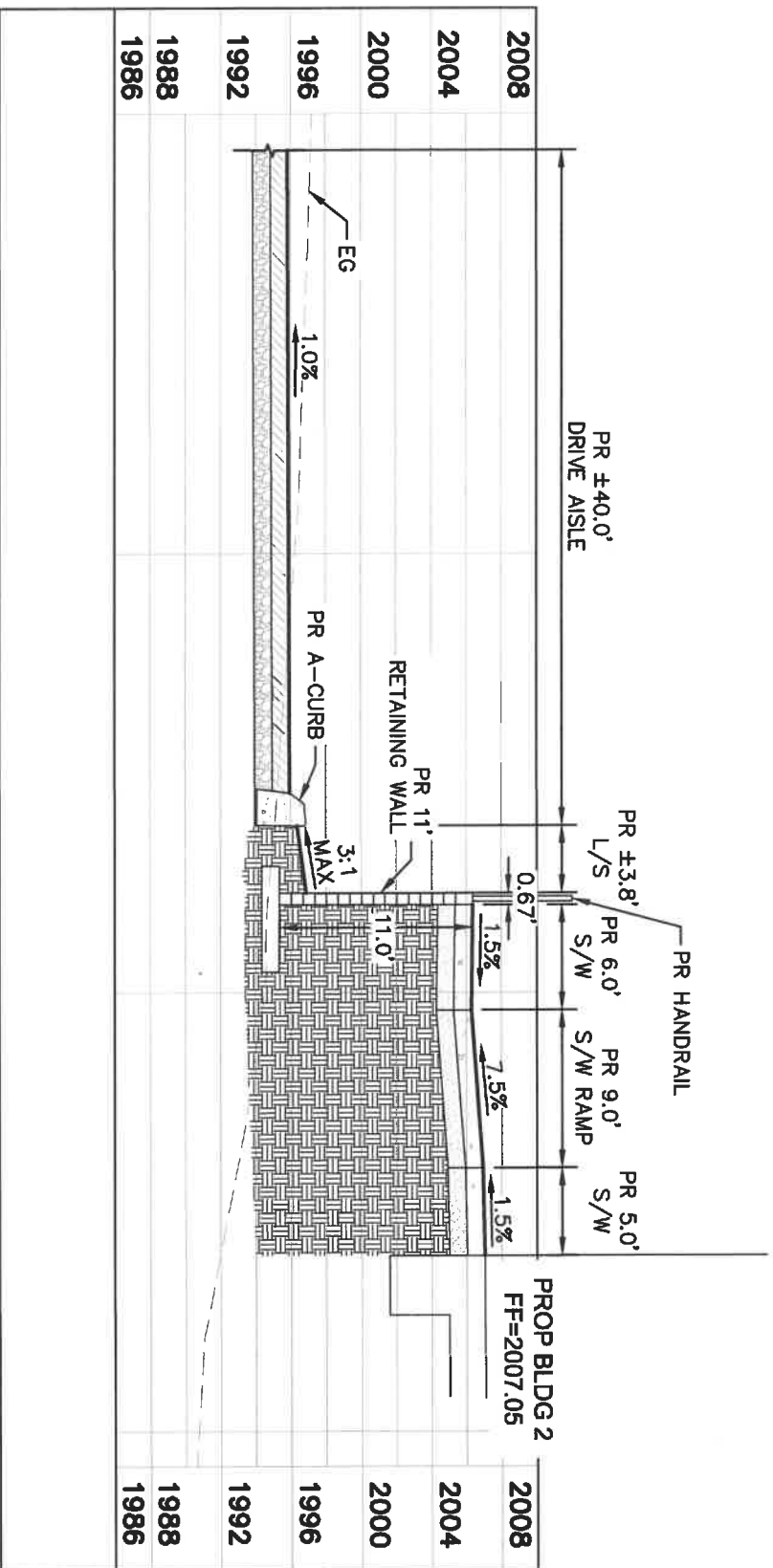


South Elevation



East Elevation





A
EXH

EAST OF BLDG 2

SCALE: H: 1"=10'
V: 1"=1'

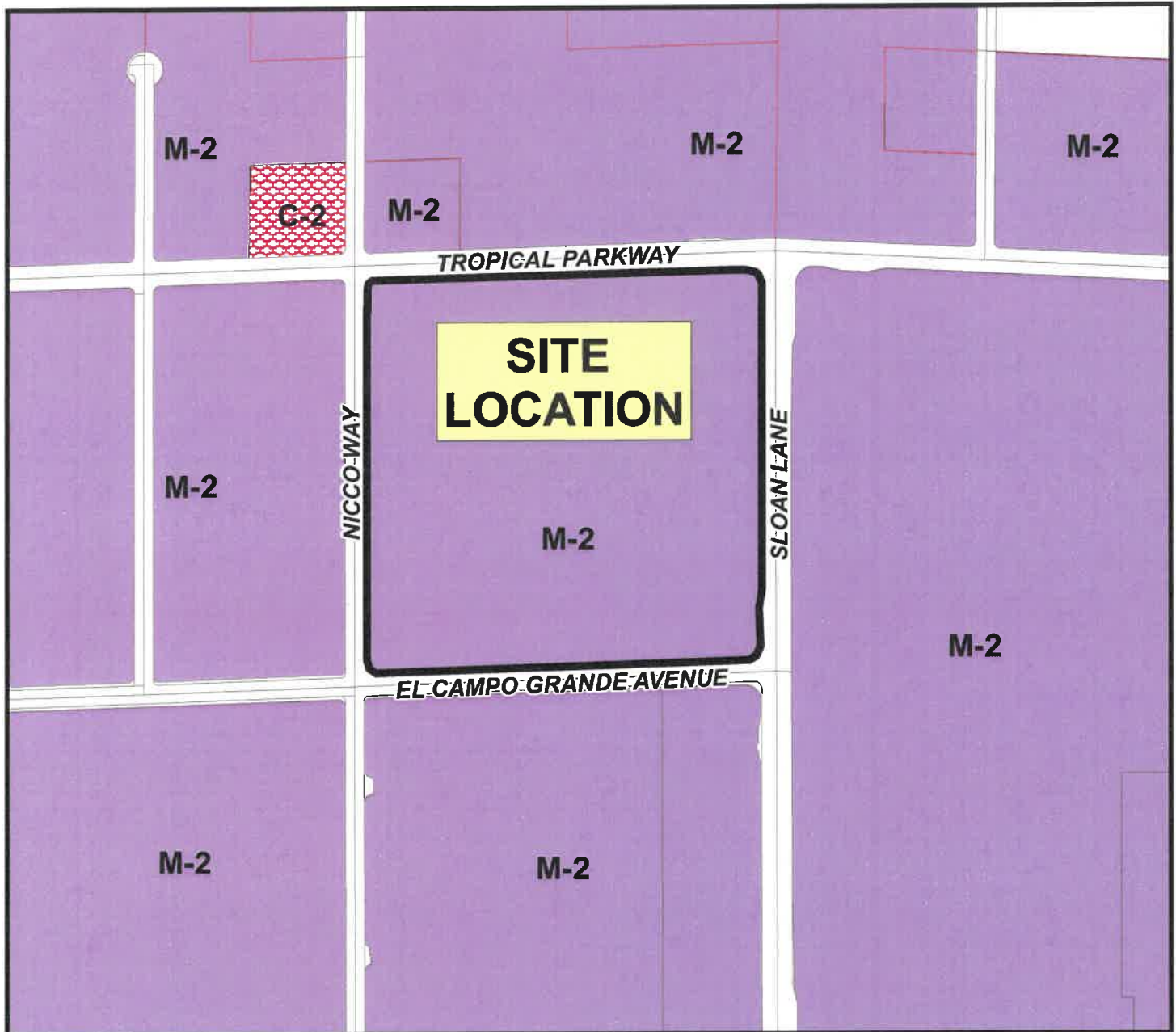
NORTH 15 PHASE IV
CROSS SECTION EXHIBIT
JANUARY 24, 2023

Kimley»Horn



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Seefried Industrial Properties, Inc./ Dan Bick
Application Type: Variance
Request: To allow a retaining wall that is over 6 feet in height
Project Info: Southwest corner of Tropical Parkway and Sloan Lane
Case Number: VN-01-2023

2/09/2023

