

**KAEMPFER
CROWELL**

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February 7, 2023

VIA ELECTRONIC UPLOAD

City of North Las Vegas
Planning & Zoning
2250 Las Vegas Boulevard North
North Las Vegas, NV 89030

***RE: Task Force Justification Letter – Amendment to the Master Plan, Zone Change
from R-E to M-2, and Conditional Use Permit for Vehicle Repair Facility
Losee Road and East La Madre Way (APN: 124-36-402-001)***

To Whom It May Concern:

Please be advised, this firm represents Heartland Express, Inc. (the “Applicant”). The Applicant is proposing to construct a truck services and repair center for private use on property located east of Losee Road, south of East La Madre Way, and north of East Lone Mountain Road, more particularly identified as APN: 124-36-402-001 (the “Site”). The Site is approximately 10.77 acres. The Site is currently planned Employment and zoned R-E. With the proposed new use, a plan amendment and zone change are required, and the Applicant also requests a conditional use permit for vehicle repair.

PLAN AMENDMENT & ZONE CHANGE

The Site is planned Employment, and zoned R-E. The Applicant is requesting a plan amendment to Heavy Industrial and zone change to M-2. The proposed changes are appropriate for the following reasons:

- The Site is surrounded by industrial zoning (both M-1 and M-2) to the north, south, and east, with Losee Road immediately to the west.
- The Upper Las Vegas Wash Trail abuts the western and southwestern perimeter of the Site, with C-1 vacant property located south of the Trail.
- The Site is ideally located among industrial uses and along major roadways, so as not to create new or more intense use than currently exists in the area.
- The Site’s location and surrounding uses make it unlikely to be suitable for non-industrial uses.
- The proposed use is not more intense than existing, neighboring uses, and will be a compatible and harmonious use of the land.

CONDITIONAL USE PERMIT

The Applicant is proposing a truck service and repair center for its own fleet vehicles and therefore needs a conditional use permit for a vehicle repair facility. The Site will not be a general truck stop location, and not accessible to the general public. The proposed development provides for 7 drive-through vehicle service bays for maintenance, as well as a single bay drive-through truck wash. Additionally, 3 lanes of drive-through, covered fueling stations will be provided, as well as employee and driver amenities that include restrooms, office space, laundry, classroom, break room and storage. The Site proposes 11 personal vehicle parking spaces; 3 ADA parking spaces; 68 tractor parking stalls; and 107 trailer parking stalls. The Site will be secured with a fenced perimeter, with gated vehicle inbound/outbound lanes. The Site is accessed from East La Madre Way. The building is approximately 28 feet at its highest point, and is articulated with attractive, insulated metal materials, consistently designed on all sides of the building. The Site provides decorative stone mulch along the perimeter with the Upper Las Vegas Wash Trail, as well as perimeter landscaping along East La Madre Way, and Losee Road. The landscaping provided compares with that of the neighboring parcel, which is zoned M-2.

Thank you for your consideration of this project.

Sincerely,

KAEMPFER CROWELL



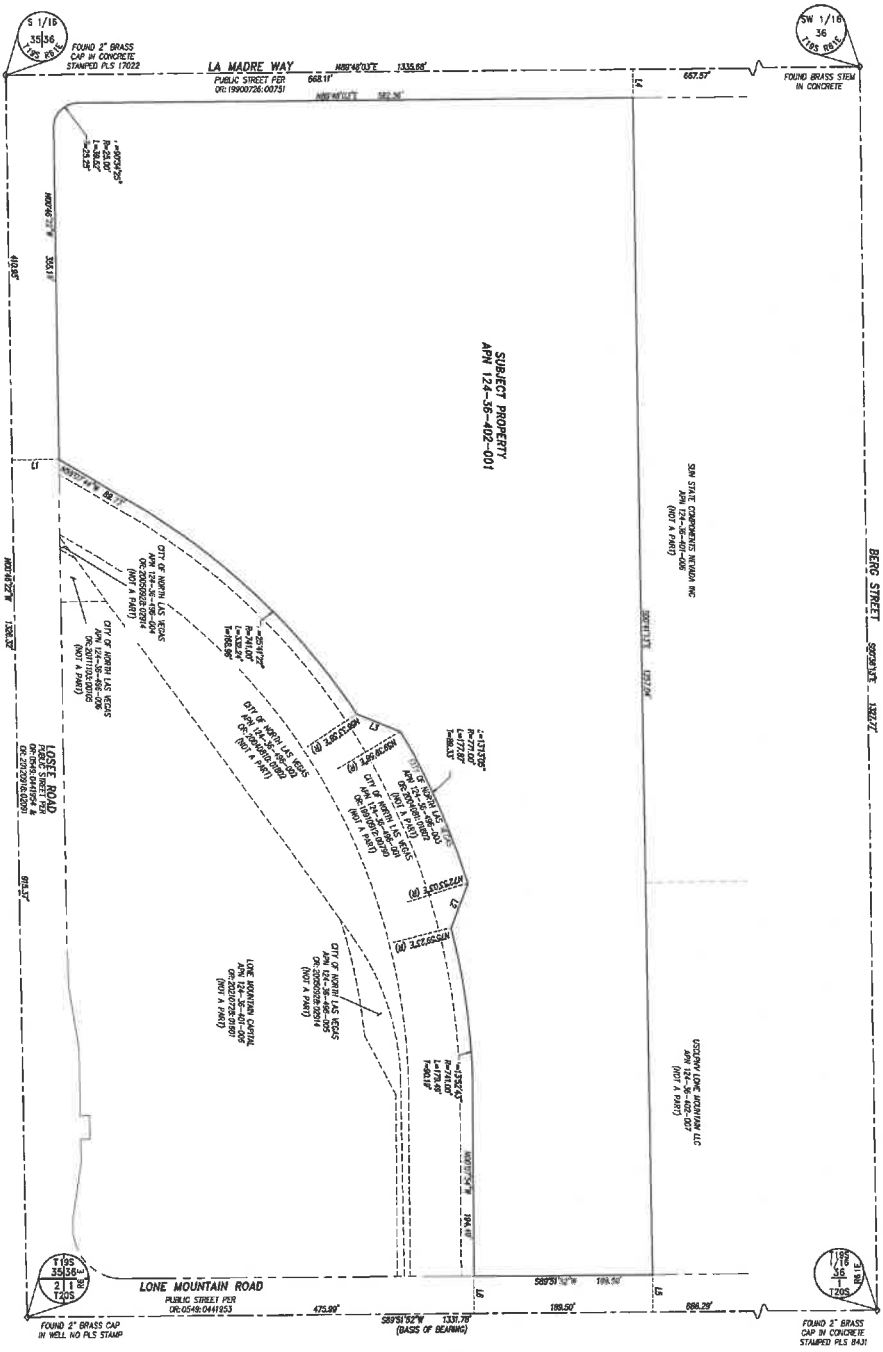
Jennifer Lazovich

JJL/mkr

ALTA/NSPS LAND TITLE SURVEY

A PORTION OF LOT 2 AS SHOWN IN FILE 65, PAGE 80 OF PARCEL MAPS ON FILE IN THE OFFICE OF THE COUNTY RECORDER, CLARK COUNTY, NEVADA, LYING WITHIN THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 35, TOWNSHIP 19 SOUTH, RANGE 61 EAST, M.D.M., CLARK COUNTY, NEVADA

4950 LOSEE ROAD



LEGEND

- SUBJECT PROPERTY BOUNDARY LINE
- DEED LINE
- EASEMENT
- EXISTING RIGHT-OF-WAY LINE
- BOUNDARY SURVEY LINE
- EASEMENT LINE
- ADJACENT PARCEL LINE (NOT A PART)
- FOUND MONUMENT AS DESCRIBED
- EXISTING PARCEL NUMBER
- ACCESSION PARCEL NUMBER
- OFFICIAL RECORDS
- RURAL
- ASSIGNED PARCEL NUMBER

LINE	BEARING	DISTANCE
L1	N 89° 07' 30" E	50.00
L2	N 0° 00' 00" E	50.00
L3	S 89° 07' 30" E	50.00
L4	N 0° 00' 00" E	50.00
L5	S 89° 07' 30" E	50.00
L6	N 0° 00' 00" E	50.00

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THOMSON CONSULTING ENGINEERS
 7080 LA CIENEGA AVENUE, SUITE 200
 LAS VEGAS, NEVADA 89119
 702-932-6125 FAX: 702-932-6129

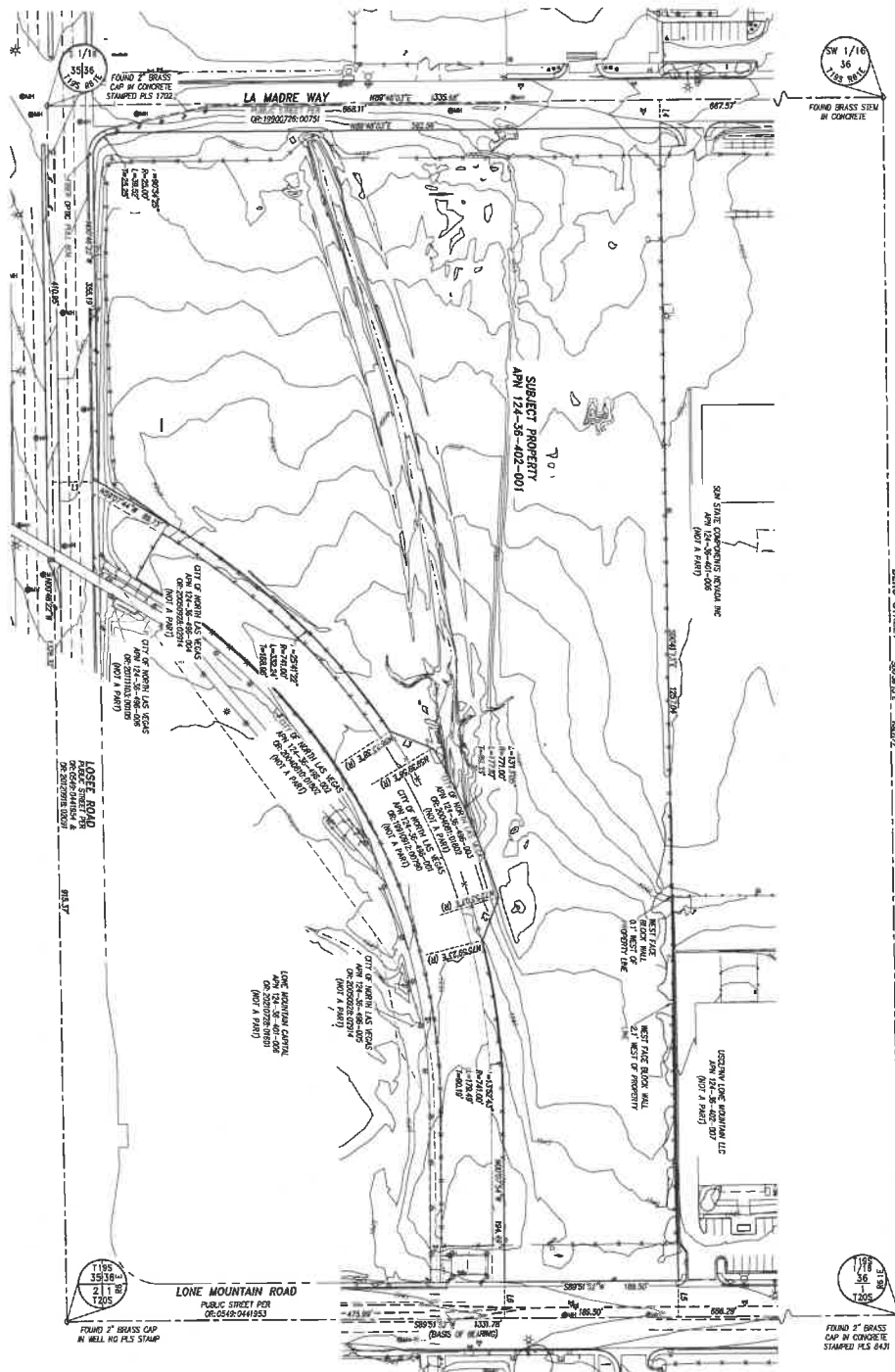
4950 LOSEE ROAD
ALTA/NSPS LAND TITLE SURVEY

SCALE: N/A
 DRAWN BY: ZB
 CHECKED BY: ETP
 SEC 36 T 19 S R 61 E

NO.	BY	DATE	DESCRIPTION OF DRAWING REVISION
1	ZB	08/08/2002	INITIAL DRAFT
2	ETP	08/08/2002	FINAL DRAFT

4950 LOSEE ROAD

Information is usually received in brief, misleading verbal reports. Interview



SOUTH 0925132 WEST - BEING THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 36, TOWNSHIP 36 NORTH, RANGE 61 EAST, U.M. CITY OF NORTH LAS VEGAS, CLARK COUNTY, NEVADA, AS SHOWN IN FILE 63. PAGE 89 OF PARCEL MAPS ON FILE IN THE OFFICE OF THE COUNTY RECORDS, CLARK COUNTY, NEVADA.

CITY OF LAS VEGAS VERTICAL CONTROL V. 2015
MONUMENT ID: NV1913654
RINGS AND 3" ROUND ALUMINUM DISK, STAMPED NORTH LAS
VEGAS NV AND 1913654, SET IN THE TOP OF CONCRETE
RINGS ON AND NW 1913654, SET IN THE TOP OF CONCRETE
AT THE INTERSECTION OF LONG MOUNTAIN RD. AND STANZ ST.
ELEVATION (METERS): 391.351
ELEVATION (FEET): 1,940.124
DATUM: NAD83

SUBJECT PROPERTY DOCUMENT LINE

FOUND MONUMENT AS DESCRIBED

OR: OFFICIAL RECORDS

2000 年 10 月 10 日 星期一

POSITIVE

WATER VALVE

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N69°13'27"E	50.00'
L2	N70°36'18"E	50.77'
L3	S68°05'17"E	50.77'
L4	N07°11'57"W	30.00'
L5	S07°06'08"E	40.00'
L6	S07°08'08"E	40.00'

ALTA/NSPS LAND TITLE SURVEY

CITY OF NORTH LAS VEGAS CLARK COUNTY

SCALE: NA

DRAWN BY:	CHECKED BY:
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SEC 36 T 19 S R 61 E

NO	BY	DATE	DESCRIPTION OF DRAWING REVISION
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[illegible]

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T **C** **E** **THOMASON**
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E **ENGINEERS**

7080 LA CIENEGA AVENUE, SUITE 200
LAS VEGAS, NEVADA 89119
702-932-6125 FAX: 702-932-6125

05.06.2022

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January 9, 2023 Neighborhood Meeting Summary

On January 9, 2023, the applicant conducted a neighborhood meeting at the Hampton Inn located at 2852 E. Craig Road.

Six people attended the meeting in addition to Councilman Barron and Councilwoman Garcia Anderson. There were general questions about location of project and reason for comprehensive master plan change and zone change.

No opposition was expressed.

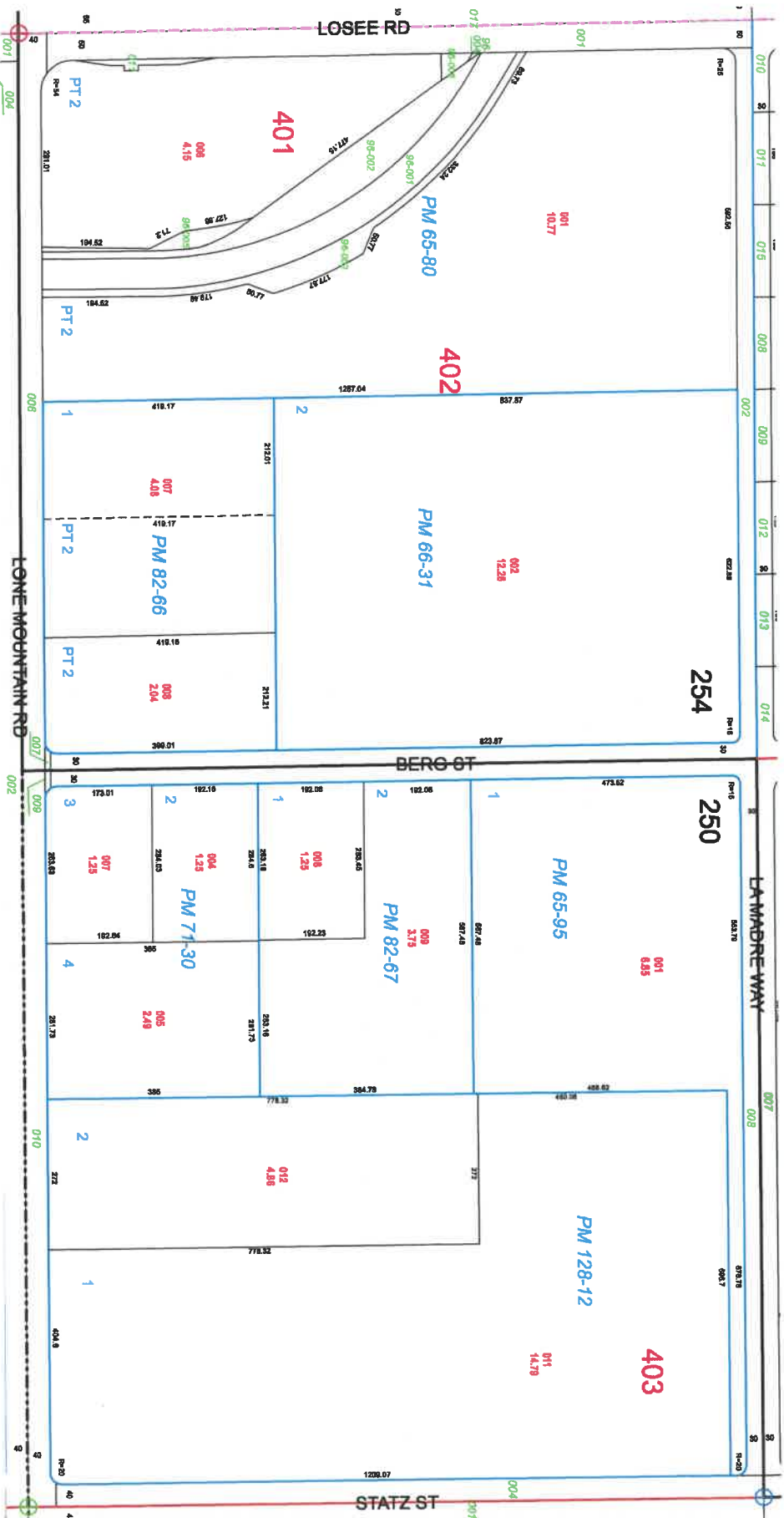
ASSESSOR'S PARCELS - CLARK COUNTY, NV.
 Briana Johnson - Assessor

NOTES
 This map is for assessment use only and does NOT represent a survey.
 No liability is assumed for the accuracy of the data delineated herein.
 Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.
 This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.
 USE THIS SCALE WHEN MAP REDUCED FROM 11X17 ORIGINAL.

MAP LEGEND
 PARCEL BOUNDARY
 SUB BOUNDARY
 PAID BOUNDARY
 ROAD EASEMENT
 MATCH / LEADER LINE
 HISTORIC LOT LINE
 HISTORIC SUB BOUNDARY
 SECTION LINE
 CONDOMINIUM UNIT
 AIR SPACE PCL.
 RIGHT OF WAY PCL.
 SUB-SURFACE PCL.
 001 PARCEL NUMBER
 1.00 ACREAGE
 202 PARCEL SUBSEQ NUMBER
 PG 24-46 PLAT RECORDING NUMBER
 5 BLOCK NUMBER
 6 LOT NUMBER
 GL-6 600 LOT NUMBER

T19S R61E
 36
 S 2 SW 4
 124-36-4

Scale: 1" = 200'
 Rev: 5/4/2022

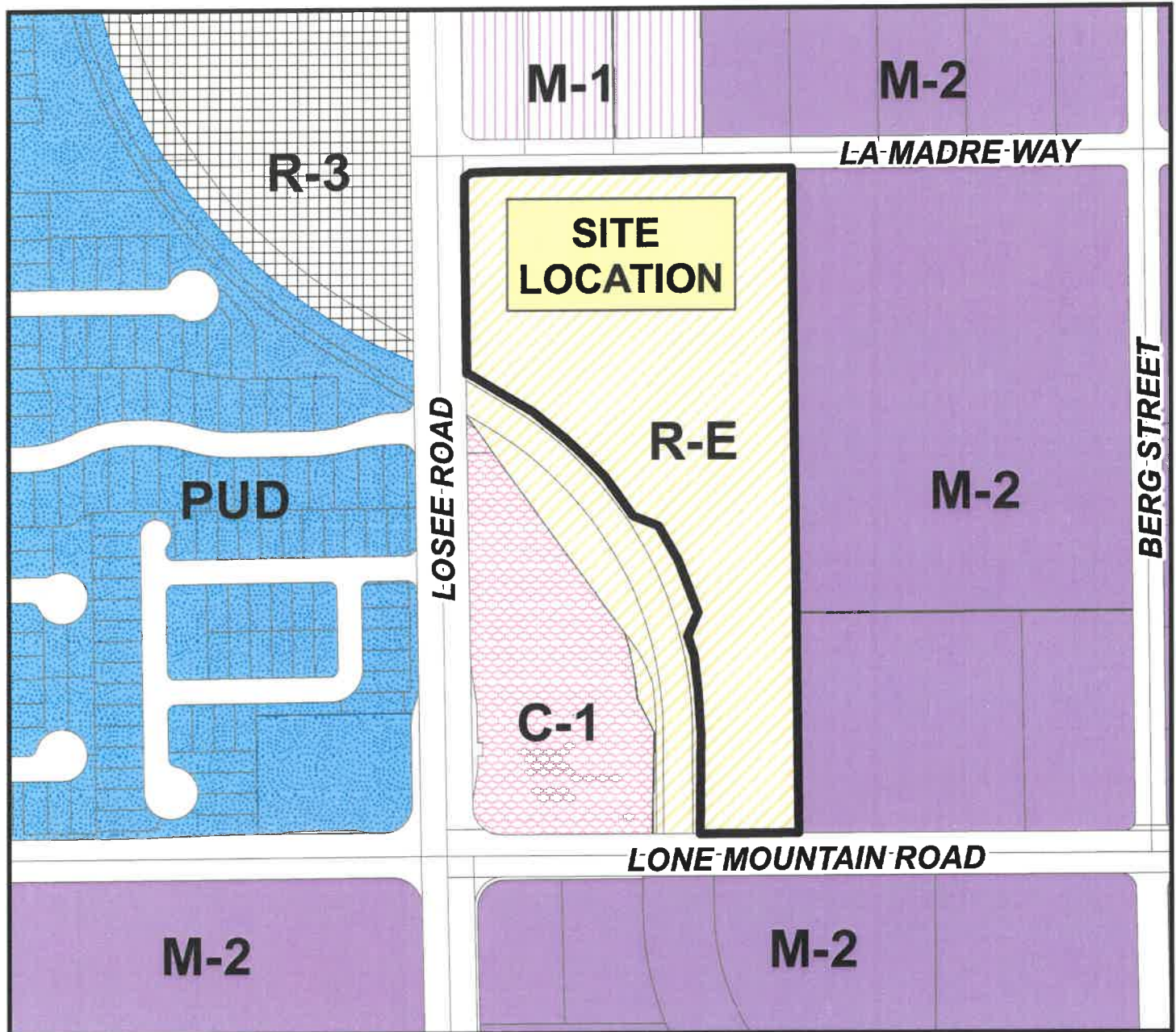


TAX DIST 254,250



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



0 150 300 600 900 1,200 1,500
Feet

Applicant: Losee Capital Management, LLC.
Application Type: Property Reclassification
Request: From R-E (Ranch Estates District) to M-2 (General Industrial District)
Project Info: Southeast corner of Losee Road and La Madre Way
Case Number: ZN-01-2023

2/09/2023

