

# CITY OF NORTH LAS VEGAS

## INTEROFFICE MEMORANDUM

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To: Sharianne Dotson, Principal Planner, Land Development & Community Services Dept.  
From: Jimmy Love, Major Projects Coordinator, Department of Public Works  
Subject: SUP-56-2024 **Tropical/Pecos Commercial**  
Date: October 23, 2024

The Department of Public Works recommends that this item comply with the conditions of approval for T-MAP-12-2024.

**Jimmy Love**

Digitally signed by Jimmy Love  
DN: C=US,  
E=jlove@cityofnorthlasvegas.com, O=City of  
North Las Vegas, OU=Development & Flood  
Control, CN=Jimmy Love  
Reason: I am the author of this document  
Date: 2024.10.23 09:59:46-07'00'

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Jimmy Love, Major Projects Coordinator  
Department of Public Works

Mayor  
**Pamela A. Goynes-Brown**

City Manager  
**Micaela Rustia Moore**

**Council Members**  
**Ruth Garcia-Anderson**  
**Isaac E. Barron**  
**Scott Black**  
**Richard J. Cherchio**



**Land Development & Community Services**  
**Alfredo Melesio, Jr., Director**  
**Building Safety & Fire Prevention Division**  
2250 Las Vegas Boulevard, North · Suite #125 · North Las Vegas, Nevada 89030  
Telephone: (702) 633-1577 Fax: (702) 649-9643 · TDD: (800) 326-6868  
[www.cityofnorthlasvegas.com](http://www.cityofnorthlasvegas.com)

October 24, 2024

**Planning and Zoning Department**

**Attention: Sharienne Dotson**

**Subject: Conditional Approval of Project SEC Tropical/Pecos (APN-123-30-301-002)**

**SUP# 56-2024**

The North Las Vegas Fire Prevention Division grants conditional approval for this project to proceed with the current site plan, provided that the fire department access lanes are redesigned to align with the original proposal around the mini storage facility. This redesign must comply with Section 503 of the 2018 International Fire Code.

The updated plan should include a full 360-degree access lane around the building, as well as a secondary access point that meets the North Las Vegas Fire Code Amendment 503.1.2 requirements, based on the latest revised site plan.

Please note that these conditions will be reviewed during the civil review process. However, we want to ensure that the project can accommodate these changes.

Respectfully,

Jason McMillan  
Fire Prevention Supervisor

A handwritten signature in black ink, appearing to read "Jason McMillan". The signature is stylized and includes a large loop at the end.

LAS VEGAS OFFICE  
1980 Festival Plaza Drive, Suite 650  
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Robert J. Gronauer  
[rgronauer@kcnvlaw.com](mailto:rgronauer@kcnvlaw.com)

October 1, 2024

**VIA ELECTRONIC UPLOAD**

NORTH LAS VEGAS COMPREHENSIVE PLANNING DEPARTMENT  
2250 Las Vegas Blvd. North  
North Las Vegas, Nevada 89106

***Re: Justification Letter –Zone Change, Special Use Permits, Site Plan Review,  
Waiver, and Tentative Map  
Intercapital Asset Management, LLC  
Tropical and Pecos***

To Whom It May Concern:

Please be advised our office represents the Applicant in the above-referenced matter. The proposed project is located on approximately 10.41 acres at the southeast corner of East Tropical Parkway and North Pecos Road. The property is more particularly described as Assessor's Parcel Number 123-30-301-002 ("the Property"). The Property is zoned Neighborhood Commercial (C-1) with a land use designation of Neighborhood Commercial (NC). The Applicant is requesting a zone change, site plan review, special use permits, waiver, and single lot commercial tentative map for a commercial development which will include a mini-storage facility, hospital, tavern, retail, and two drive-thru restaurants.

**Zone Change**

The Applicant requests a zone change from C-1 to General Commercial (C-2). There have been several proposed developments on the Property, including residential and commercial. Based on past neighborhood meetings and feedback from the neighbors in the immediate area, commercial is preferred on the Property. The Applicant is proposing various uses that are compatible with that request, providing appropriate neighborhood uses for the community. The request to C-2 is conforming under the existing Neighborhood Commercial master plan designation.

All proposed uses are permitted by right, or with the approval of a special use permit, under the current C-1 zoning district, with the exception of the hospital, due to overnight stays. Neighbors have expressed support of the hospital use during the neighborhood meeting. With that, the proposed zone change will not adversely affect the area nor allow uses that are not already contemplated under the existing C-1 zoning.

### **Special Use Permits**

Taverns, mini-storage facilities, and hospitals are permitted in the C-2 zoning district upon the approval of a special use permit. All three (3) uses are appropriate within residential area and will be utilized by the surrounding communities.

The mini-storage facility will be located along the southern portion of the site, setback from the residential 30-feet, providing between 20 to 30-feet of landscaping. The Applicant is providing a double row of intense landscaping to further protect the residents to the north and south and has removed the roll-up doors and drive aisle along the southern property line. The mini-storage facility will be gated with access granted only to those with a paid unit. Mini-storage facilities are quiet uses with extremely low traffic counts. The proposed use will not create a negative impact on the residential to the south and will provide a needed residential use in the area. Hours of operation for the mini-storage will be 6:00am to 10:00pm, not 24 hours.

The hospital would be centrally located on the site and setback a minimum of 85-feet from adjacent residential to the east, which includes 21-feet of landscaping. The proposed hospital will be a rehabilitation hospital for various conditions including stroke, brain injury, hip fracture and other complex neurological and orthopedic conditions. There will be no drug or alcohol rehabilitation at the proposed hospital. The hospital will have inpatient services with a total of 60 beds. The proposed hospital is a low intensity use when it comes to traffic, light, and noise, and is compatible and harmonious with the surrounding residential and other proposed uses.

The tavern (full on-sale and restricted gaming) would be located on the northwest corner of the Property at the intersection of Pecos and Tropical. The tavern will also provide a sit down restaurant area for families, which has been requested from many neighbors who attended the neighborhood meeting. Taverns are required to be a minimum of 500-feet from residential. Here, the Applicant requests to allow for a reduced separation to the north, west, and east, all of which are buffered by an adequate barrier, as required by Code. The residential to the east would be sufficiently buffered by the proposed restaurant and retail uses shown on the site plan. The residential to the north and west will be buffered the existing right-of-ways, both major arterials with heavy traffic noise. Therefore, the proposed use permit to reduce the distance separation would not affect the existing residential.

### **Site Plan Review**

As noted above, the Applicant is proposing a mini-warehouse facility, rehabilitation hospital, a tavern, two drive-thru restaurants, and a retail building.

The mini-storage facility will be three-stories, with a maximum height of 35-feet, and a total of 1,287 units. C-2 permits for up to 60-feet. However, the Applicant is providing a building height of only 35-feet, per the feedback received at the neighborhood meeting, which is permitted under the existing C-1 zoning. The mini-storage will be gated with both externally and internally accessible units. The roof line is flat with various height articulations to meet the design

requirements for commercial uses.

The hospital will be located in the center of the Property and will be single-story with a total of 63,967 square feet. The hospital includes various outdoor open space areas for patients to assist in their rehabilitation. The outdoor space will be utilized during daytime hours only. The hospital will be a low intensity use and is compatible and harmonious with the surrounding residential and other proposed uses.

The tavern, drive-thru restaurants, and retail building will be located along the northern side of the Property to allow for easy access from Tropical Parkway. The buildings will be single story with a maximum height of 26-feet. The rooflines will include articulations to meet the design standards within the Code. The tavern will have a small outside dining area located on the north side of the building.

The Applicant is providing a total of 252 parking spaces where 242 spaces are required. The perimeter landscaping along the east and south property lines ranges from 20-feet to over 30-feet, with a double row of trees, to provide adequate buffering for the residential. Access to the Property is provided from both Pecos Road and Tropical Parkway to ensure adequate circulation onto and through the Property.

#### **Waiver of Use-Specific Standard**

Twenty-six percent of the net lot area is provided as open space, exceeding the required twenty-four percent. The Applicant requests a waiver to allow 9,792 square feet of the open space requirement for frontage open space for the hospital where 13,300 square feet is required. The intent of Chapter 17.20.020(B)(6)(i), which requires a minimum of three-fourths (3/4) of the total open space requirement be dedicated to the hospital frontage, is to provide a setting for the building and visual continuity within the community for major hospitals situated on large properties. Notable examples of larger landscaped frontages are seen at the North Las Vegas VA Medical Center, Centennial Hills Hospital, and Summerlin Hospital Medical Center. In contrast, the proposed hospital is smaller and integrated within a commercial development featuring numerous different uses. As a compensating benefit, the total landscaping as proposed exceeds the minimum open space requirements, and meets the intent of Chapter 17.20.020(B)(6), by promoting visual continuity with the surrounding environment and contributing to an aesthetically pleasing development.

#### **Tentative Map**

Lastly, the Applicant is submitting a single lot commercial subdivision tentative map as a companion application with this project.

October 16, 2024  
Page 4

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Thank you in advance for your time and consideration regarding this application. Please feel free to contact me should you have any questions or concerns.

Sincerely,

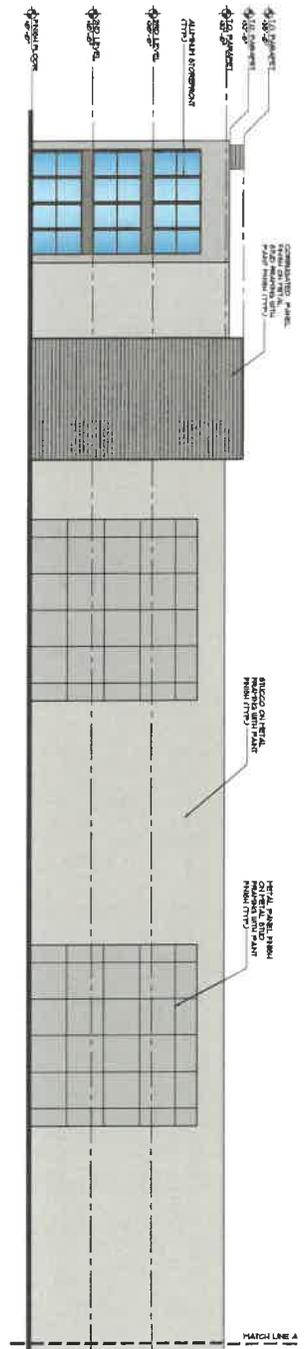
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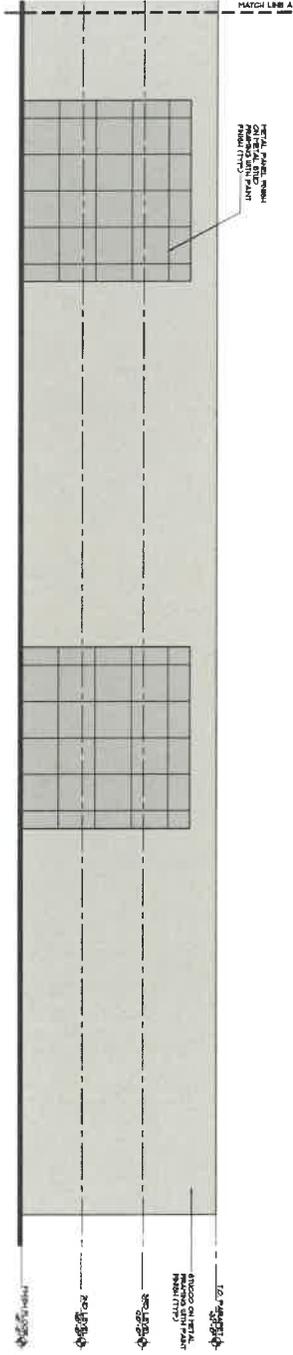
Bob Gronauer



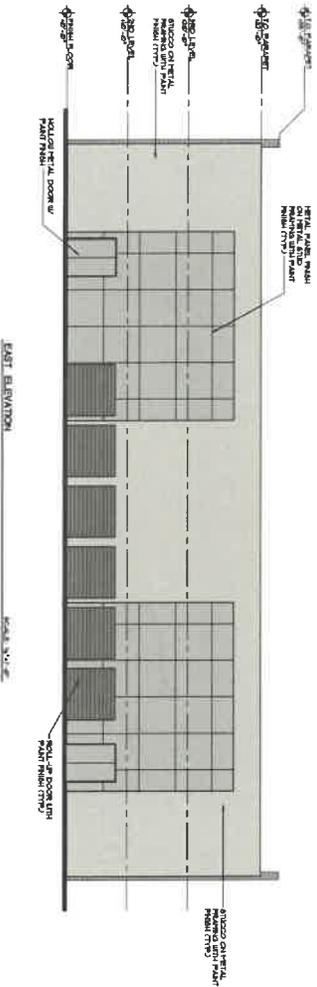




PARTIAL SOUTH ELEVATION SCALE: 1/8"=1'-0"



PARTIAL SOUTH ELEVATION SCALE: 1/8"=1'-0"



EAST ELEVATION SCALE: 1/8"=1'-0"

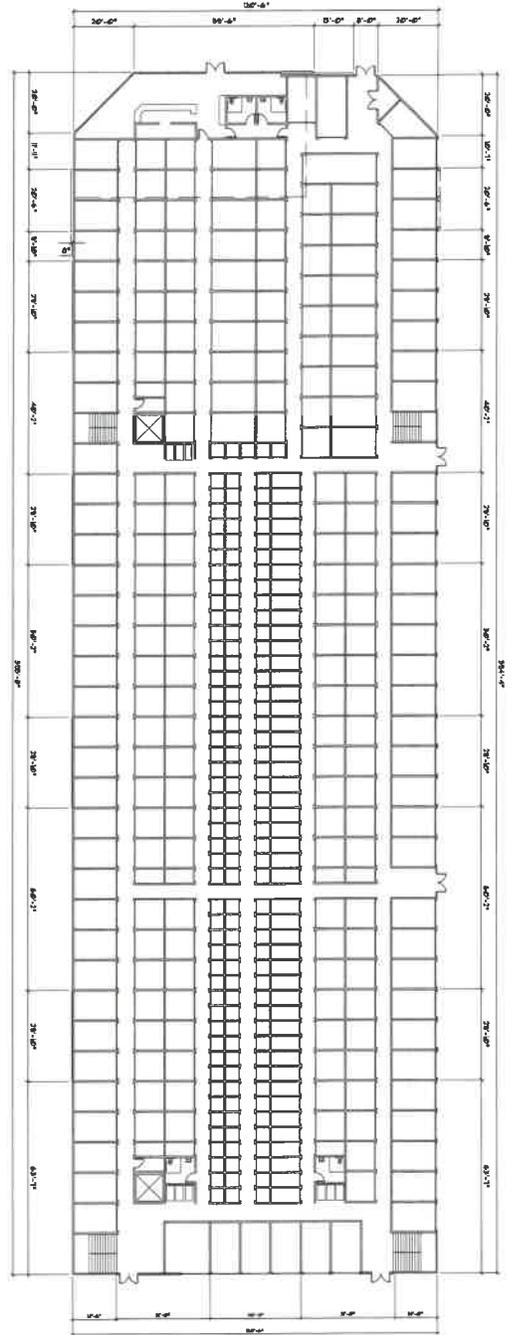
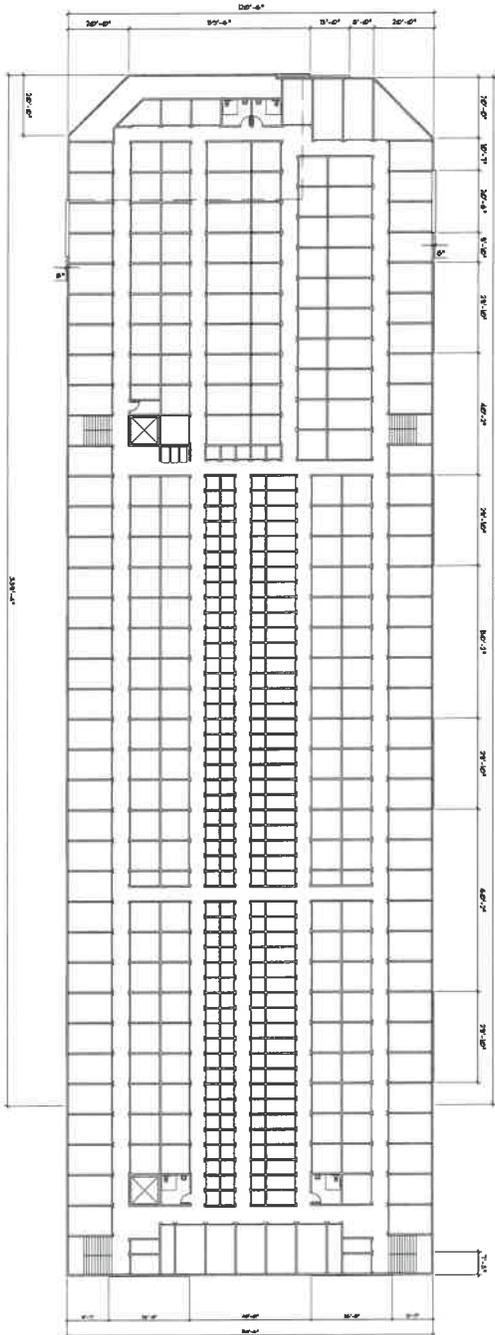
STORAGE FACILITY ELEVATIONS

SCALE: 1/8"=1'-0"  
 09.25.2024  
 24036

1. These drawings are the property of SCA design and are to be used only for the project and site identified herein. Any reuse or modification of these drawings without the written consent of SCA design is strictly prohibited. 2. The contractor shall be responsible for obtaining all necessary permits and approvals for this project. 3. The contractor shall be responsible for ensuring that all work is completed in accordance with the applicable building codes and standards. 4. The contractor shall be responsible for protecting all existing utilities and structures on the site. 5. The contractor shall be responsible for maintaining access to all adjacent properties at all times. 6. The contractor shall be responsible for obtaining all necessary insurance and bonding for this project. 7. The contractor shall be responsible for providing all necessary safety measures for the construction site. 8. The contractor shall be responsible for providing all necessary site cleanup and restoration services. 9. The contractor shall be responsible for providing all necessary documentation and records for this project. 10. The contractor shall be responsible for providing all necessary communication and reporting to the owner and other stakeholders. 11. The contractor shall be responsible for providing all necessary quality control and assurance services. 12. The contractor shall be responsible for providing all necessary safety and health services for the construction site. 13. The contractor shall be responsible for providing all necessary environmental protection services. 14. The contractor shall be responsible for providing all necessary social and community services. 15. The contractor shall be responsible for providing all necessary cultural and historical services. 16. The contractor shall be responsible for providing all necessary archaeological services. 17. The contractor shall be responsible for providing all necessary geotechnical services. 18. The contractor shall be responsible for providing all necessary structural services. 19. The contractor shall be responsible for providing all necessary mechanical services. 20. The contractor shall be responsible for providing all necessary electrical services. 21. The contractor shall be responsible for providing all necessary plumbing services. 22. The contractor shall be responsible for providing all necessary fire protection services. 23. The contractor shall be responsible for providing all necessary pest control services. 24. The contractor shall be responsible for providing all necessary security services. 25. The contractor shall be responsible for providing all necessary maintenance services. 26. The contractor shall be responsible for providing all necessary repair services. 27. The contractor shall be responsible for providing all necessary replacement services. 28. The contractor shall be responsible for providing all necessary removal services. 29. The contractor shall be responsible for providing all necessary disposal services. 30. The contractor shall be responsible for providing all necessary recycling services. 31. The contractor shall be responsible for providing all necessary reuse services. 32. The contractor shall be responsible for providing all necessary conservation services. 33. The contractor shall be responsible for providing all necessary preservation services. 34. The contractor shall be responsible for providing all necessary restoration services. 35. The contractor shall be responsible for providing all necessary rehabilitation services. 36. The contractor shall be responsible for providing all necessary renovation services. 37. The contractor shall be responsible for providing all necessary remodeling services. 38. The contractor shall be responsible for providing all necessary reconstruction services. 39. The contractor shall be responsible for providing all necessary reconstruction services. 40. The contractor shall be responsible for providing all necessary reconstruction services.

**SEC TROPICAL AND PECOS**
  
 APN: 123-30-301-002

**A1.1**



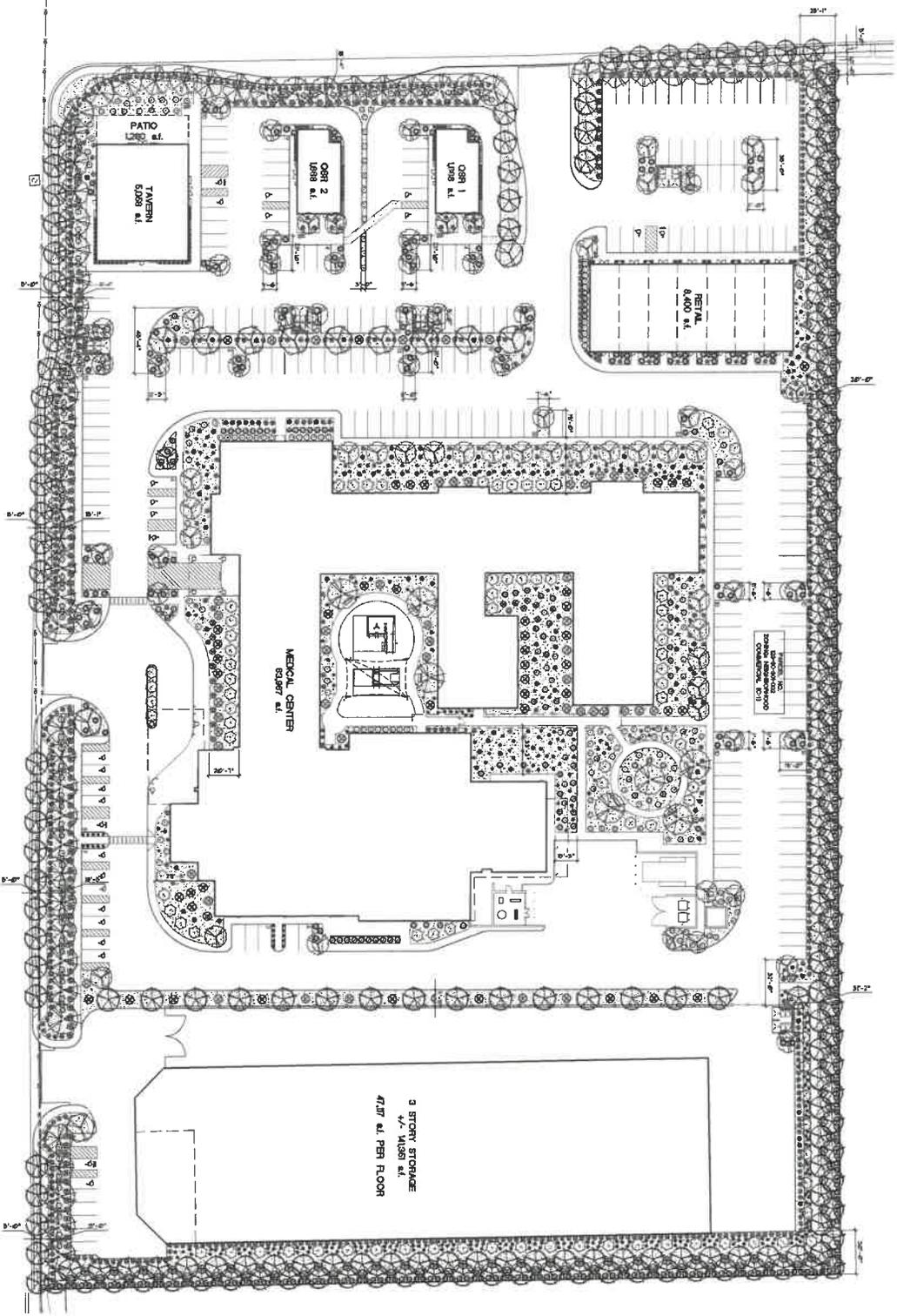
**STORAGE FACILITY FLOOR PLANS**

SCALE: 1/8"=1'-0"  
 09.25.2024  
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E. TROPICAL PKWY.

N. PECOS RD.



**GENERAL NOTES**

1. LANDSCAPE IS TO COMPLY WITH THE REGIONAL PLANTS LIST.
2. LANDSCAPE SHALL ALLOW UNOBTAINED VIEWS FROM EXISTING CORNER AND GROUND LEVEL.
3. TREES CANNOT BE PLANTED WITHIN 10' OF ANY ADJACENT PROPERTY OR YARD.
4. TREES SHALL BE PLANTED WITHIN 10' OF ANY ADJACENT PROPERTY OR YARD.

**LANDSCAPE CALCULATIONS**

**LANDSCAPE CALCULATIONS**

LANDSCAPE CALCULATIONS TO BE PROVIDED AS SHOWN HEREON. THESE ARE NOT TO BE USED FOR ANY OTHER PURPOSES.

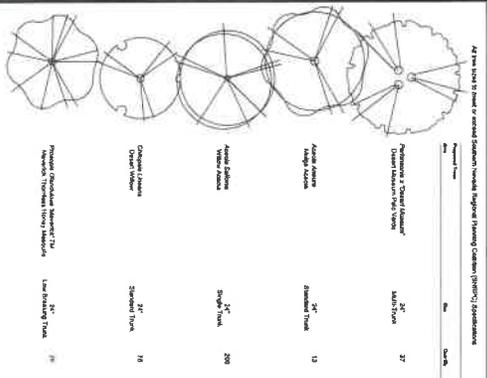
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LANDSCAPE CALCULATIONS: 1/18/14 05.

**LANDSCAPE LEGEND**



Plant Name	Quantity	Notes
1. 12\"/>		

**LANDSCAPE PLAN**

SCALE: 1"=30'-0"  
10.15.2024  
24036

**NOTES**

This map is for assessment use only and does NOT represent a survey.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

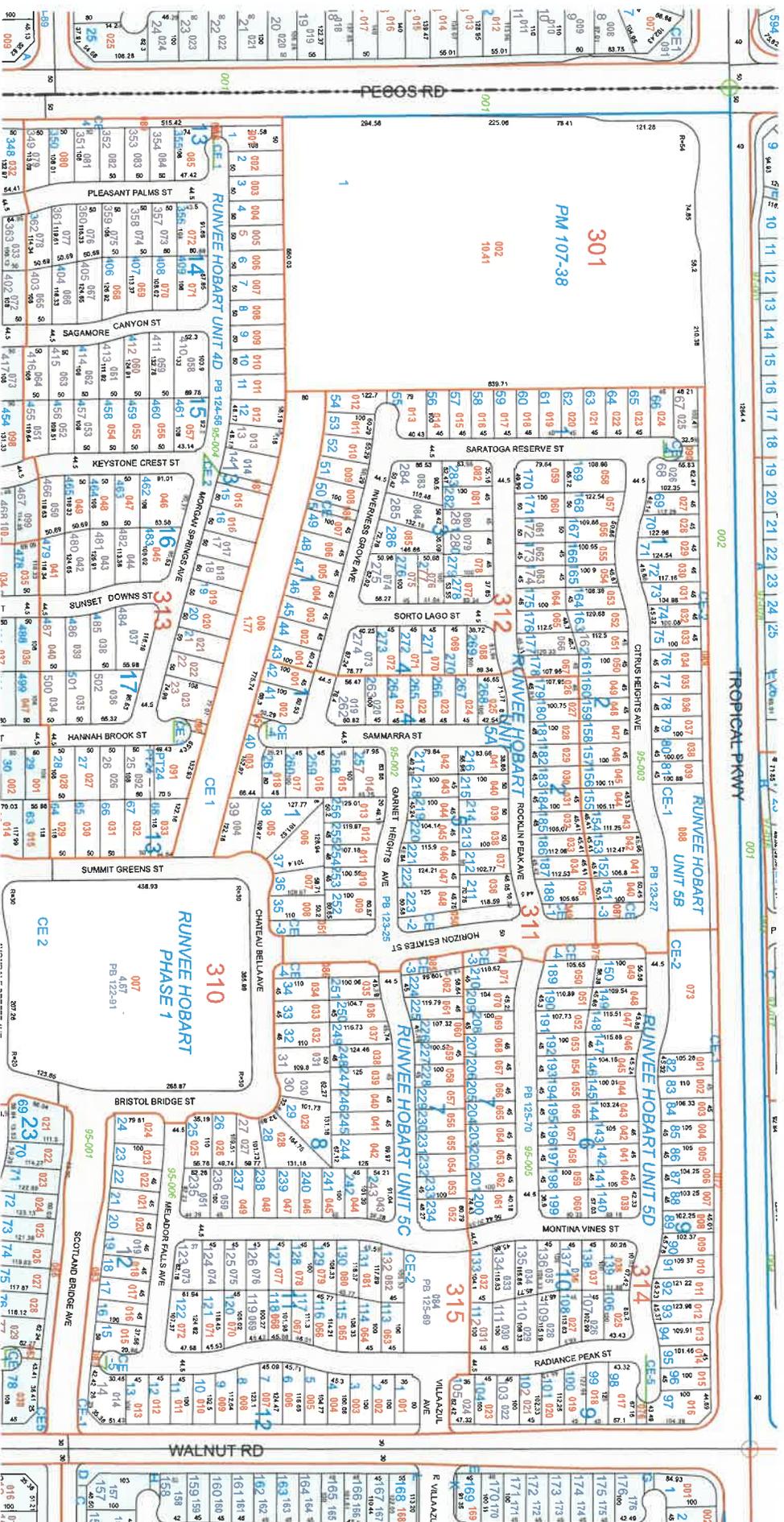
USE THIS SCALE FREE TYPENR MAP REDUCED FROM 1:1217 ORIGINAL.

**MAP LEGEND**

- PARCEL BOUNDARY
- SUB BOUNDARY
- PLMD BOUNDARY
- ROAD EASEMENT
- MATCH / LEADER LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- HISTORIC PLMD BOUNDARY
- SECTION LINE
- 007 ROAD PARCEL NUMBER
- 001 PARCEL NUMBER
- 1.00 ACREAGE
- 202 PARCEL SURPOSE NUMBER
- PB 24-06 PLAT RECORDING NUMBER
- 5 BLOCK NUMBER
- LOT NUMBER
- 05 GOV. LOT NUMBER

BOOK	T19S R6ZE	30	MAP	N 2 SW 4
001 101	102 103	1	1	1
25 124	123 122	2	2	2
38 139	140 141	3	3	3

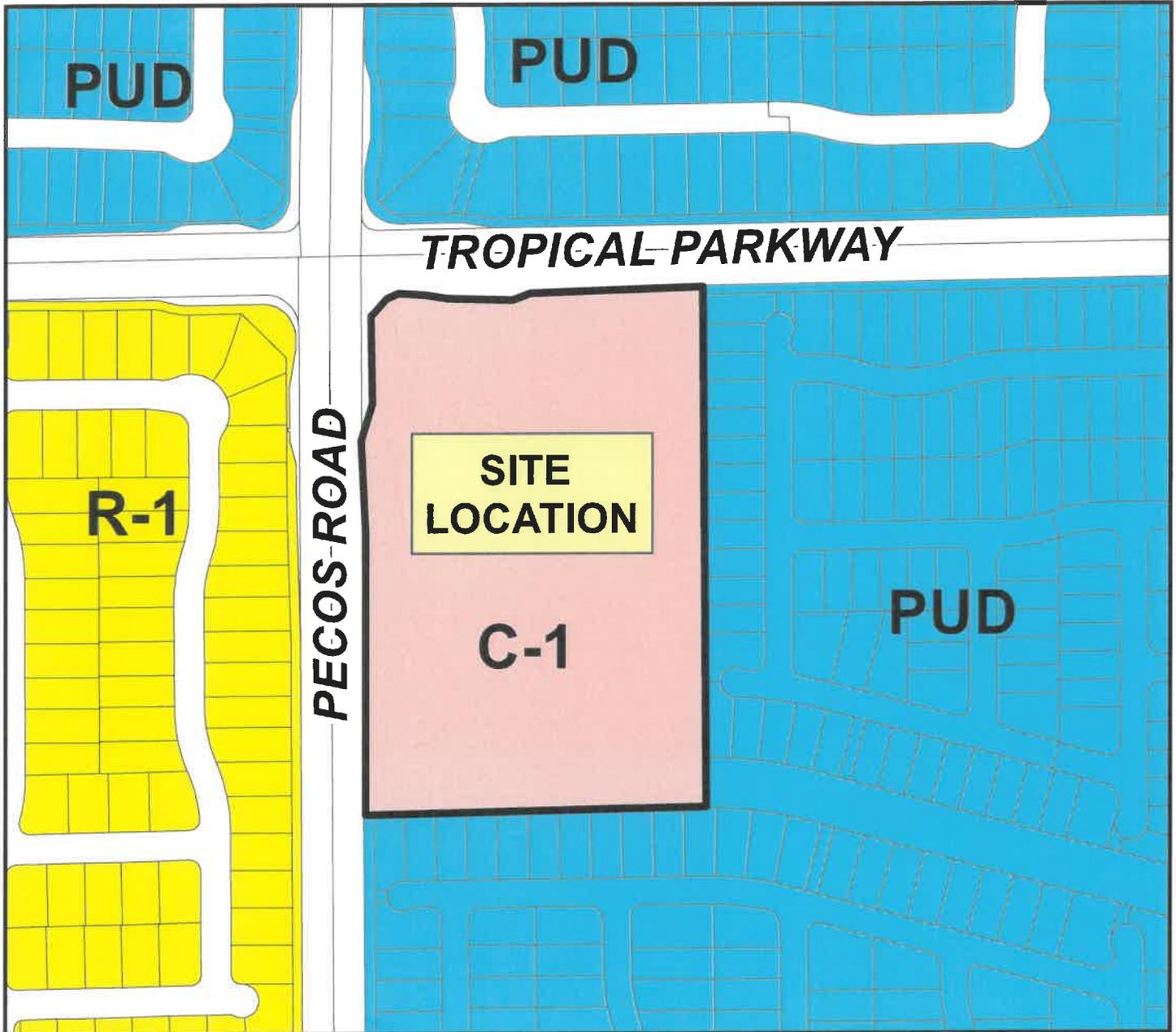
Scale: 1" = 200'	Rev: 12/29/2020	123-30-3
5	1	1
4	2	2
3	3	3
2	4	4
1	5	5





# THE CITY OF NORTH LAS VEGAS

## Location & Zoning Map



Applicant: Intercapital Asset Management  
Application Type: Special Use Permit  
Request: To Allow a Mini-Warehousing Establishment  
Project Info: Southeast Corner of Pecos Road and Tropical Parkway  
Case Number: SUP-56-2024

10/09/2024

