

## CITY OF NORTH LAS VEGAS

### INTEROFFICE MEMORANDUM

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To: Bryan Saylor, Planner, Land Development & Community Services  
From: Jimmy Love, Major Projects Coordinator, Department of Public Works  
Subject: ZN-18-2024      **Ann & San Mateo-Bella Copia**  
Date: November 18, 2024

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code - Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on the preliminary development plan, tentative map and the civil improvement plans. Geological hazards such as fault lines or fissures affecting residential structures may substantially alter the tentative map layout and require the submission of a revised tentative map which must be approved by the City prior to final approval of the civil improvement plans. The footprint of proposed structures shall be plotted on all lots impacted by faults and/or fissures and a minimum width of five (5) feet shall be provided from the edge of any proposed structure to the nearest fault and/or fissure.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans.
3. This project is required to adhere to the CNLV Private Streets Policy for Residential Development.
4. Interior local residential streets shall be designed per *Clark County Area Uniform Standard Drawing* No. 206.S3 Option A with sidewalks on both sides of the street.
5. The modified stub street, which features a minimum back of curb radius of 24 feet, is limited to a maximum lot frontage of four and a maximum length of 150 feet, as measured from the back of curb of the intersecting street to the back of curb at the furthest point of the cul-de-sac. Any cul-de-sac exceeding these standards shall provide a standard cul-de-sac design.
6. The street names shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards, and must be approved by the City of Las Vegas Central Fire Alarm Office.
7. Adjacent to all perimeter and internal streets, a five foot wide public utility easement shall be granted to accommodate dry utility appurtenances and fire hydrants.
8. Any preliminary street section(s) shown on the plans shall be used for planning purposes only; the geometrics, width of over-pave and thickness of the pavement sections will be determined by the Department of Public Works.
9. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope.
10. All residential driveway geometrics shall be in compliance with the Uniform Standard Drawings for Public Works' Construction Off-Site Improvements Drawing Number 222.

11. Proposed residential driveway slopes shall not exceed twelve percent (12%).
12. Appropriate subdivision and/or parcel mapping is required to complete this project. All mapping shall be in compliance with NRS Chapter 278 and the City of North Las Vegas Municipal Code and associated Master Plans in effect at the time of subdivision and/or parcel map approval. Conformance may require modifications to the site.
13. All lots shall comply with the *City of North Las Vegas Municipal Code* section 16.20.02.B which states: "The side lines of lots shall be approximately at right angles to the street upon which the lot faces, or approximately radial if the street is curved." Compliance may require modifications to the current layout.
14. A conforming tentative map incorporating the conditions of approval shall be submitted for review and approval to the Department of Public Works and Land Development & Community Services prior to submittal of the final map and civil improvement plans.
15. Emergency access driveways shall be constructed per ***Clark County Area Uniform Standard Drawing*** No. 224.
16. Security gate geometrics, including throat depths, are to be designed and constructed in accordance with *Clark County Area Uniform Standard Drawing* number 222.1. Modifications to the site plan may be needed to comply with the standards.
17. Knuckles should be provided within street elbows or parking is to be restricted on both sides of the elbow.
18. The property owner is required to grant roadway easements where public and private streets intersect.
19. All common elements shall be labeled and are to be maintained by the Home Owners Association.
20. Right-of-way **dedication and construction** of a **RTC bus** turn-out is required Ann Road near San Mateo St. per the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Number 234.1.
21. A roadway easement is required for the bus stop loading pad on Ann Road.
22. Adjacent to any eighty (**80**) foot right-of-way, a common lot and/or landscape and pedestrian access easement, with a minimum width of five (5) feet, shall be provided behind the required bus turn-out.
23. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
24. All off-site improvements must be completed prior to final inspection of the first building.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**: <http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.

**Jimmy Love**

Digitally signed by Jimmy Love  
DN: C=US, E=lovej@cityofnorthlasvegas.com,  
O=City of North Las Vegas, OU=Development &  
Flood Control, CN=Jimmy Love  
Reason: I am the author of this document  
Date: 2024.11.18 09:34:46-08'00'

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Jimmy Love, Major Projects Coordinator  
Department of Public Works



September 25, 2024

City of North Las Vegas  
Land Development and Community Services Department  
2250 Las Vegas Blvd., North  
North Las Vegas, Nevada 89030

**RE: Ann & San Mateo, "Bella Copia"**

**Letter of Intent – Comprehensive Plan Amendment (Land Use), Property Reclassification  
to PUD and Tentative Map**

**APN: 124-30-414-001**

Dear City Staff,

On behalf of our client, Richmond American Homes of Nevada, we respectfully submit this Letter of Intent for the subject project requesting a Comprehensive Plan Amendment (Land Use), Property Reclassification to PUD and Tentative Map review with Current Planning.

Richmond American Homes of Nevada proposes a single-family residential subdivision located at the NWC of Ann Road and San Mateo Street (APN: 124-30-414-001). The approximate 7.6± acre site is currently vacant, undeveloped land zoned as Planned Unit Development (PUD). Riverwalk Ranch Cove, an existing residential development, abuts the northern boundary of the project, separated by an existing approximate 6-foot screen wall. San Mateo Street abuts the eastern boundary of the site and the existing Maravilla subdivision is located across San Mateo Street. Ann Road Avenue abuts the southern boundary of the project and existing commercial uses are located across Ann Road. Montgomery Street abuts the western boundary and the existing commercial subdivision, PM 105-41, is located across Montgomery Street. Lastly, there is an existing Firestone Auto Care per SF 52-70 southwest of the project site.

The proposed project includes a Comprehensive Plan Amendment (Land Use), Property Reclassification from Planned Unit Development (PUD) to PUD and a Tentative Map. The proposed project consists of eighty-four (84) single-family, attached (duplex) residential units with a minimum square footage of 1,659 square feet and a maximum of 1,770 square feet. The typical lot dimensions measure 30-feet wide by 55-feet long, with a minimum depth of 55-feet. The resulting density for the subdivision is 10.98± du/ac.

The minimum setbacks proposed with the Planned Unit Development are:

- Front Yard: 5 feet
- Garage Face: 5 feet
- Side Yard: 5 feet

- Side Street: 5 feet
- Rear Yard: 10 feet

Per the City of North Las Vegas Municipal Code – Title 17.24.020-2, the requirement for open space is 600 square feet/unit, resulting in a requirement of 50,400 square feet of open space in total. The open space provided is 53,130 square feet, exceeding the minimum requirement. Furthermore, 27,918 square feet (approximately 53%) of the provided open space is focused in the center of the development, conveniently accessible to all residents within the development for usable open space. The following amenities will be provided:

1. One (1) shaded ramada with a minimum dimension of 12'x12'.
2. Picnic tables, benches, dog stations and barbeque area(s).
3. Perimeter landscaped areas shall contain benches and dog stations.

The proposed landscape design will be consistent with the surrounding area. All landscaping will comply with the approved Southern Nevada Regional Plant List.

The residential subdivision will provide two (2) unique models, each model offers four (4) unique elevations as required by City of North Las Vegas Municipal Code. The homes range in size from 1,378 square feet to 1,500 are each two-story. All models provide front entry, 2-car garages. The homes feature a covered entry. The homes meet the intent of code by providing stucco exteriors, earth tone colors and concrete tile roofs. Furthermore, the elevations of all homes feature staggered sections, protruding and recessed features and alternative roof configurations to provide a varied appearance along the streetscape. All four sides of each elevation provide additional detailing and trim.

Access to the proposed development will be provided by a proposed driveway off San Mateo Street, through a gated ingress/egress gate. An additional gated, emergency-only access is also provided off the existing cul-de-sac at the end of Montgomery Street. The proposed project will provide a minimum of 10 feet of landscape buffer along San Mateo Street and Montgomery Street, and a minimum of 15 feet of landscape buffer along Ann Road. Offsite half street improvements for the San Mateo Street frontage are proposed with the Subdivision. Offsite improvements along the Ann Road frontage include a sidewalk and bus stop.

Site improvements will comply with City of North Las Vegas Municipal Code - Titles 15 and 16, NRS 278 and accepted Clark County Area Uniform Standard Drawings. Improvements include paving, landscaping, curb, gutter, sidewalk, underground utilities, accessibility, and positive drainage.

There are no Right-of-Way (ROW) vacations anticipated with this development.

We look forward to working with Current Planning to achieve a favorable recommendation for this project. Please do not hesitate to contact me at (702) 623-7233 if you have any questions or require any additional information.

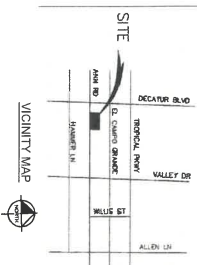
Sincerely,  
Kimley-Horn and Associates



Eric Hopkins, P.E.  
Project Engineer  
Owner/Developer Correspondent

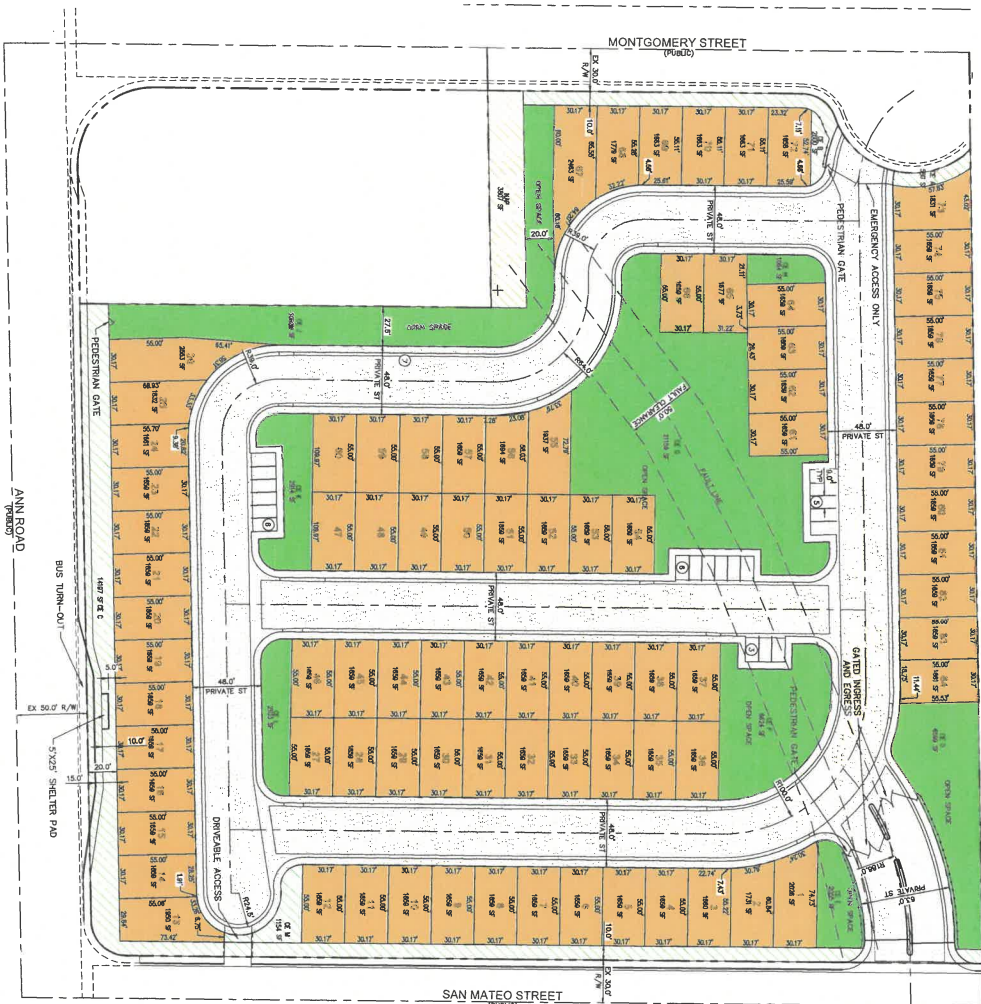
CC: Angela Pinley, Richmond American Homes of Nevada  
Erica Goff, Richmond American Homes of Nevada  
Adel Ziade, Kimley Horn and Associates





**DEVELOPER/APPLICANT**  
ANN & SAN MATEO  
7700 EAST WILSON AVENUE, SUITE 200  
DOWNTOWN ANAHEIM, CA 92804  
TEL: (714) 952-7233  
FAX: (714) 952-7233  
WWW.ANNANDSANMATEO.COM

**REPRESENTATIVE**  
KIMLEY-HORN  
10000 WILSON AVENUE, SUITE 200  
DOWNTOWN ANAHEIM, CA 92804  
TEL: (714) 952-7233  
FAX: (714) 952-7233  
WWW.KIMLEY-HORN.COM



# ANN & SAN MATEO

NORTH LAS VEGAS, NEVADA  
PREPARED FOR

SITE DATA	
PROPERTY	124-30-414-001
APN	124-30-414-001
ZONING	PUD
EXISTING ZONING	PUD
PROPOSED ZONING	PUD
EXISTING LAND USE	
PROPOSED LAND USE	
AREA	
GROSS AREA	± 7,785 ac.
NET AREA	± 7,785 ac.
DENSITY	
UNIT TYPE	SINGLE-FAMILY ATTACHED
UNIT COUNT	64
GROSS DENSITY	10.48 / ac.
NET DENSITY	10.48 / ac.
OPEN SPACE	50,400 SF
REQUIRED (60% SPACING)	52,280 SF
PROVIDED	52,280 SF
LOT AREA	1,688 SF
MINIMUM	1,688 SF
SETBACKS	
FRONT YARD	5 FT
REAR YARD	5 FT
SIDE YARD	5 FT
DRIVEWAY	5 FT
REAR YARD	10 FT
BUILDING	
MIN SEPARATION	10 FT
MAX HEIGHT	35 FT
RESIDENT PARKING	
REQUIRED (2 SPACES/LOT)	168 SPACES
PROVIDED (2 SPACES/LOT)	168 SPACES
GUEST PARKING	
REQUIRED (0.25 SPACES/LOT)	21 SPACES
PROVIDED	21 SPACES
PARKING TOTALS	
REQUIRED	189 SPACES
PROVIDED	189 SPACES

**LEGEND**

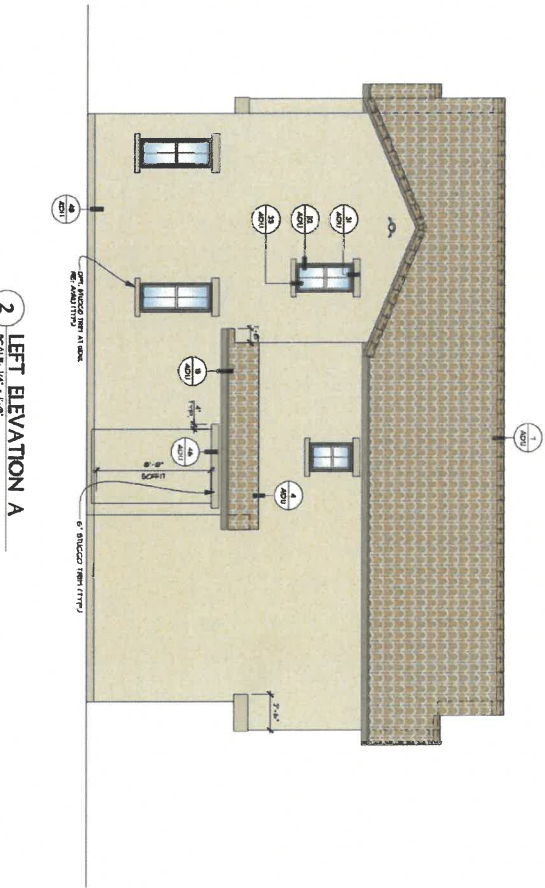
[Orange Box]	SINGLE-FAMILY LOT
[Green Box]	OPEN SPACE/LAND
[Yellow Box]	NOT A PART
[Blue Box]	PARKING
[Hatched Box]	DRIVEWAY
[Dotted Box]	LANDSCAPE (NOT OPEN SPACE)

## PRELIMINARY SITE PLAN

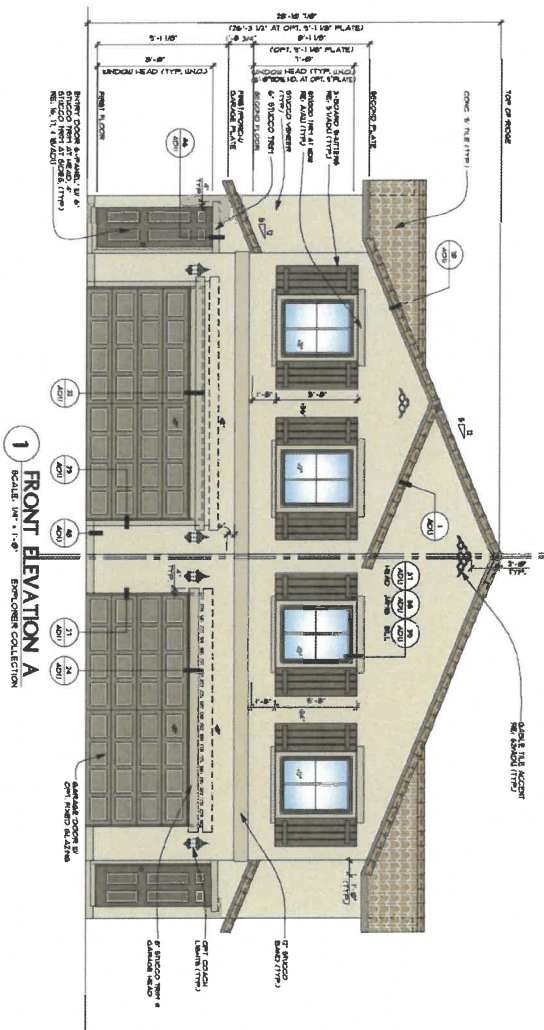
8/28/2024  
SHEET 1 OF 1

Kimley»Horn

SPANISH COLOR SCHEME	
BODY:	SW6106 Kilim Beige
TRIM:	SW6108 Latte
FASCIA:	SW6103 Tea Chest
GARAGE DOOR & GATES:	SW6103 Tea Chest
SHUTTERS/ FRONT DOOR:	SW6090 Java
DECORATIVE:	SW7020 Black Fox
ROOF TILE:	California Mission Blend 1BCCS6464
EXTERIOR STONE:	N/A

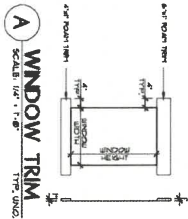


2 LEFT ELEVATION A  
SCALE: 1/4" = 1'-0"



**ELEVATION NOTES**

ALL MATERIALS LISTED BELOW ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS AND NOTED ABOVE. EXCEPT WHERE NOTED OTHERWISE, MATERIALS SHALL BE SUPPLIED BY THE MANUFACTURER. MATERIALS SHALL BE SUPPLIED BY THE MANUFACTURER. MATERIALS SHALL BE SUPPLIED BY THE MANUFACTURER. MATERIALS SHALL BE SUPPLIED BY THE MANUFACTURER.



**RICHMOND AMERICAN HOMES**  
LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 (702) 638-4400

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DATE: 04/16/2014

Revised:

SEASONS AT  
PENTER VALLEY  
(PYLE - HAVEN II)  
CLARK COUNTY

Plan Number:  
**L960**

Plan Name:  
**ALDER DUO**

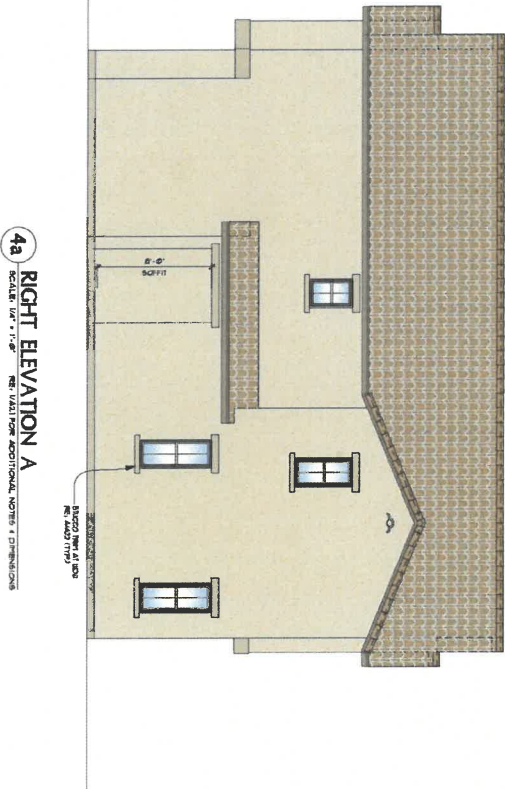
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**ELEVATION A**

Sheet Number:  
**A21**

Sheet Number:  
**a**



- SPANISH COLOR SCHEME
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- TRIM: SW6108 Latte
- FASCIA: SW6103 Tea Chest
- GARAGE DOOR & GATES: SW6103 Tea Chest
- SHUTTERS/FRONT DOOR: SW6090 Java
- DECORATIVE: SW7020 Black Fox
- ROOF TILE: California Mission Blend 1BCCS6464
- EXTERIOR STONE: N/A



Sheet Number:  
**A2.1**

b

ELEVATION A

Sheet Title:

Plan Name:  
ALDER DUO

Plan Number:  
L960

SEASONS AT  
PEWTER VALLEY  
(PTLE - JAVEN II)  
CLARK COUNTY

Comments:

Complete a full structural  
analysis of the building.  
The foundation and floor  
joists are to be designed  
for the full load of the  
entire building.

Date: 04/07/2014

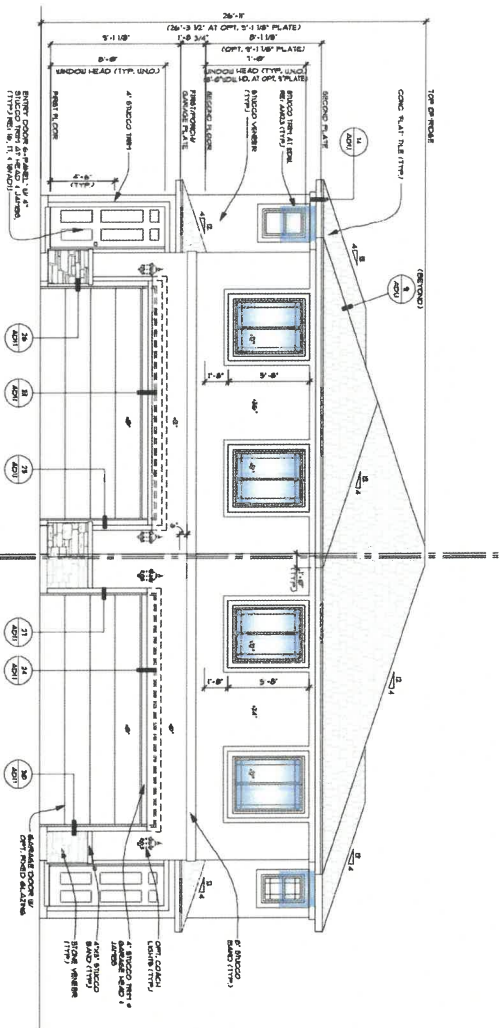
LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 (702) 636-4400

**RICHMOND**  
AMERICAN HOMES

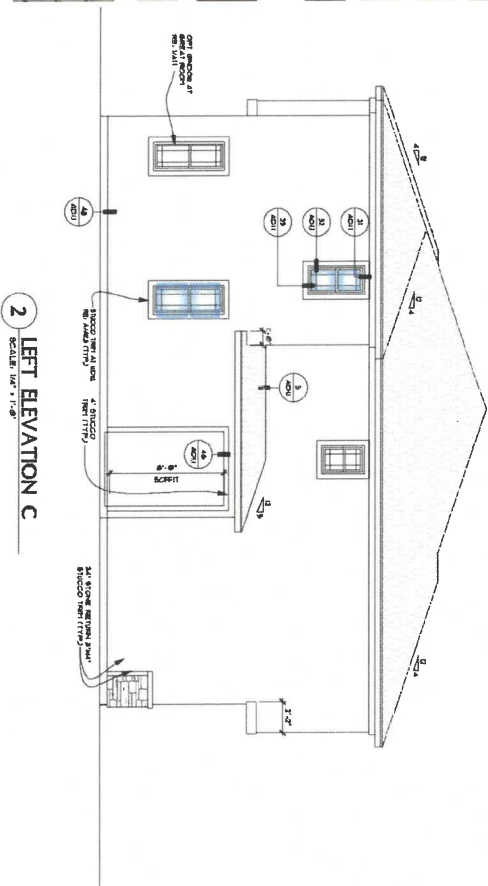
Trulia Home  
Qualified Employee



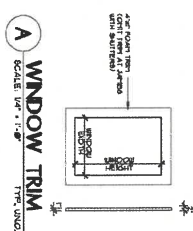




ProStack  
Lite Cedar  
Mesa



- ALL MATERIALS & LIMITED STOCK ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS
- ROOFING MATERIAL TO BE 18"X31" AND NOT A ROOFING CONCERTE BOARD 18" X 24" X 1/2" (2000 MC)
  - STUCCO MATERIAL TO BE ORFEDA DIVORCO WALL
  - STUCCO VENEER CONC. (S&W 1000) INC.
  - ROOF MATERIAL TO BE INVERNATONAL 60/40/20/20/20
  - MANUFACTURED STONE VENEER (S&W 2200) INC.
- 77001-0025-0000 L&B LIMITED WORK - CHAPIN



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Date: 04/07/074

### Revisions

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**SEASONS AT  
PEWTER VALLEY  
(PYLE - HAVEN II)  
CLARK COUNTY**

0967

Plan Name: **ALDER DUO****Sheet Title:**

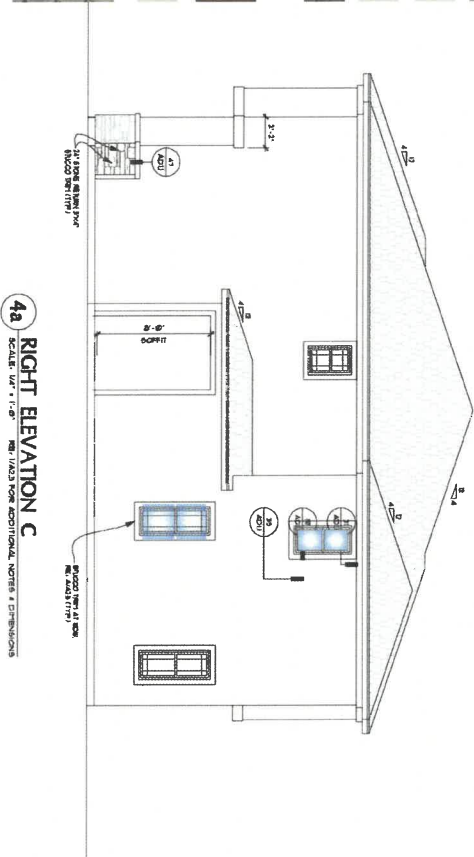
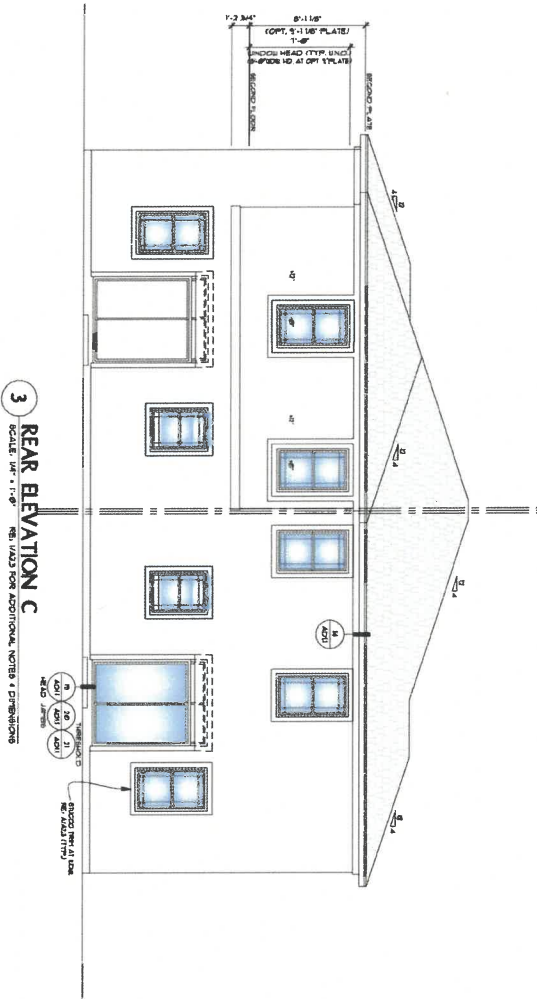
ELEVATION C

Street Number:

### A2.3



PRAIRIE/ITALIAN COLOR SCHEME	
BODY:	SW7039 Virtual Taupe
TRIM:	SW7036 Accessible Beige
FASCIA:	SW7036 Accessible Beige
GARAGE DOOR & GATES:	SW7041 Van Dyke Brown
SHUTTERS/ FRONT DOOR:	SW6069 French Roast
DECORATIVE:	SW7036 Accessible Beige
ROOF TILE:	Saxony Charcoal Brown Blend 1FACS1132
EXTERIOR STONE:	ProStack Lite Cedar Mesa



Sheet Number:  
**A23**  
b

ELEVATION C

Sheet Title:

Plan Name:  
ALDER DUO

Form Number:  
L960

SEASONS AT  
POWDER VALLEY  
(FIVE LAKES III)  
CLARK COUNTY

Richmond  
AMERICAN HOMES

LAS VEGAS  
770 East Warm Springs Road, Suite 340  
Las Vegas, NV 89119 702.638-4400

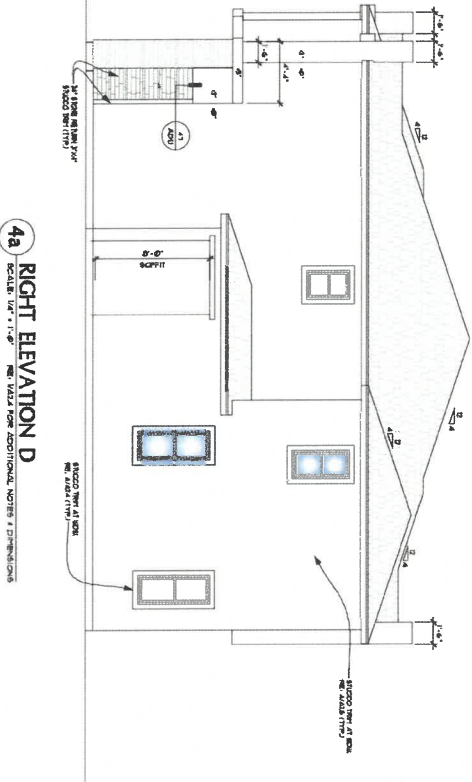
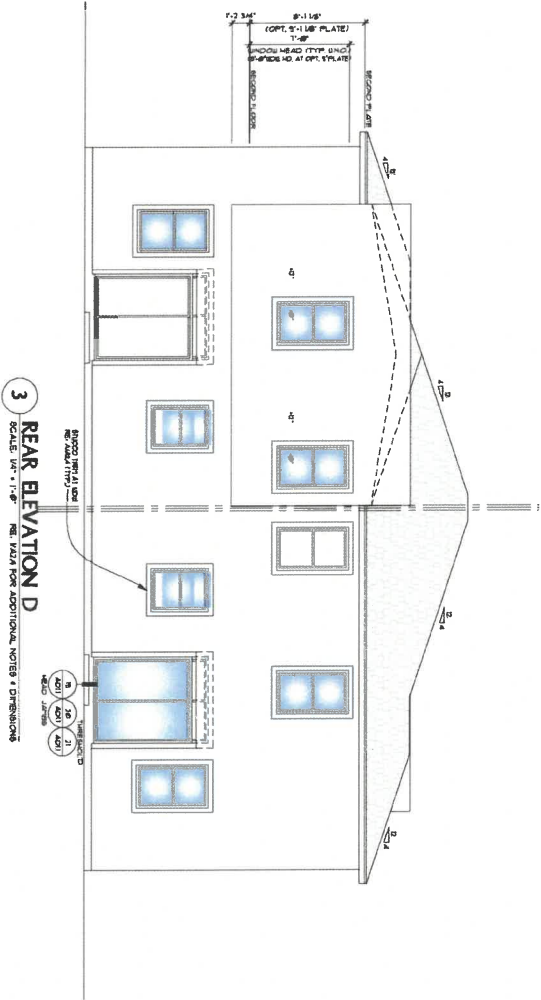
Justin Bozant,  
Qualified Employee





MEDITERRANEAN COLOR SCHEME

BODY:	SW7029 Agreeable Gray
TRIM:	SW7504 Keystone Gray
FASCIA:	SW7504 Keystone Gray
GARAGE DOOR & GATES:	SW7047 Porpoise
SHUTTERS/ FRONT DOOR:	SW7625 Mount Etna
DECORATIVE:	SW7504 Keystone Gray
ROOF TILE:	Charcoal Brown Blend 1BCCS1132
EXTERIOR STONE:	Grey Drift Mountain Ledge



Sheet Number:  
**A2.4**  
**b**

Plan Name:  
**ALDER DUO**

Sheet Title:  
**ELEVATION D**

SEASON AT  
PEVER VALLEY  
(FTE - HAVEN II)  
CLARK COUNTY

Plan Number:  
**L960**

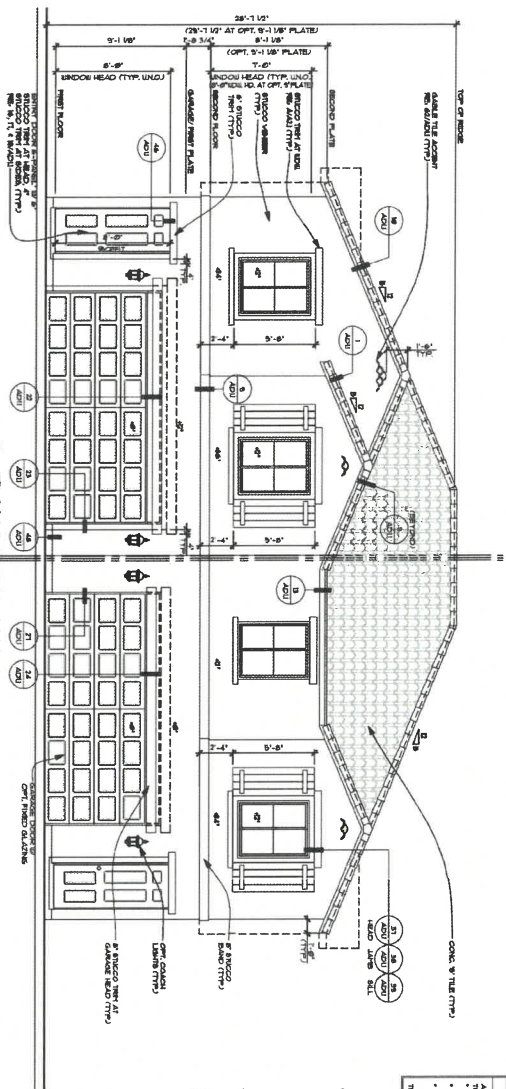
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Drawn: 6/4/2024

**RICHMOND**  
AMERICAN HOMES

LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 702 638-4400

Justin Board,  
Qualified Engineer



## SPANISH COLOR SCHEME

BODY:

SW6106 Kilim Beige

TRIM:

SW6108 Latte

FASCIA:

SW6103 Tea Chest

GARAGE DOOR  
& GATES:

SW6103 Tea Chest

SHUTTERS/  
FRONT DOOR:

SW6090 Java

DECORATIVE:

SW7020 Black Fox

ROOF TILE:

California  
Mission  
Blend  
1BCCS6464

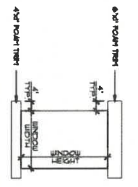


EXTERIOR  
STONE:

N/A

## ELEVATION NOTES

- [illegible]



**A** WINDOW TRIM  
SCALE: 1/4" = 1'-0"  
TYP. UNITS



**RICHMOND**  
AMERICAN HOMES

LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 (702) 638-4400

SEASONS AT  
PEWTER VALLEY  
(PYLE - HAVEN II)  
CLARK COUNTY

Plan Name:  
**LANTANA DUO**

Sheet Number:  
**A2.1**

SPANISH COLOR SCHEME

BODY:

SW6106 Kilim Beige

TRIM:

SW6108 Latte

FASCIA:

SW6103 Tea Chest

GARAGE DOOR  
& GATES:

SW6103 Tea Chest

SHUTTERS/  
FRONT DOOR:

SW6090 Java

DECORATIVE:

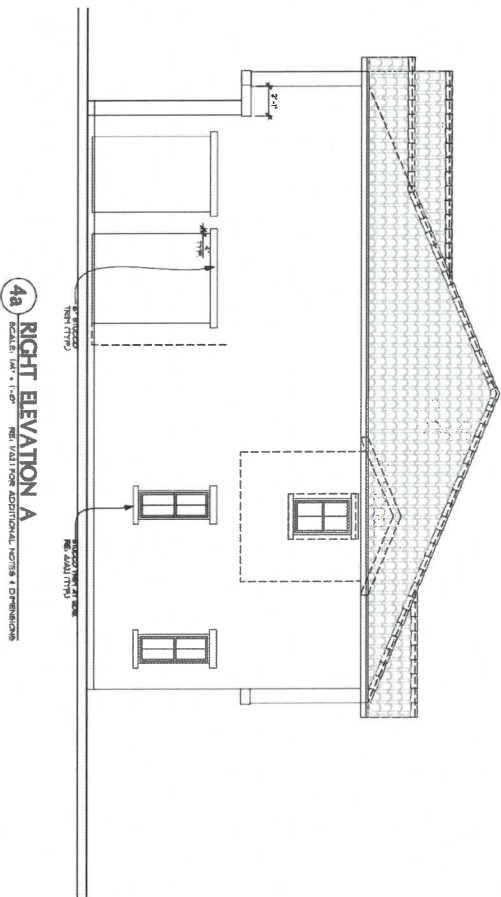
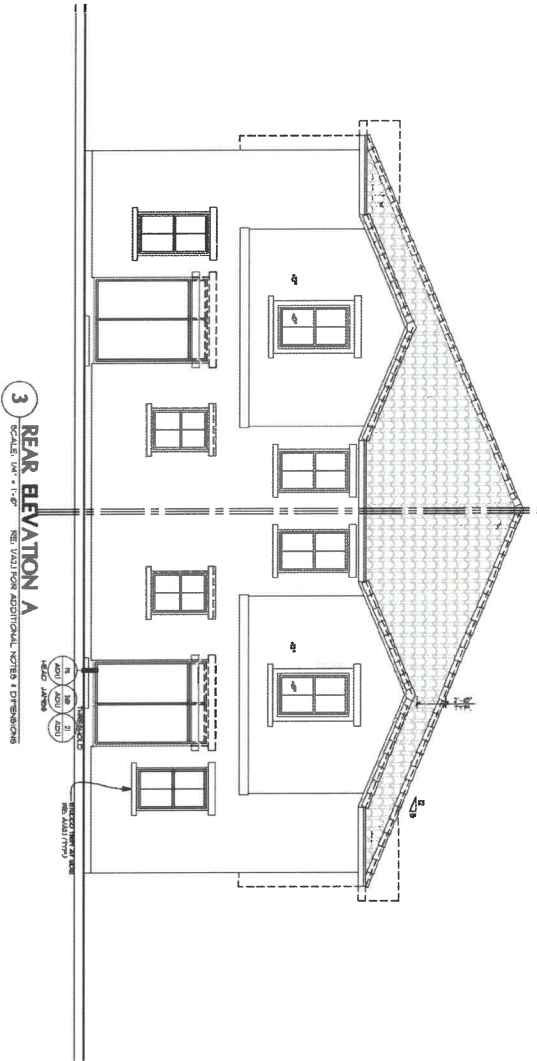
SW7020 Black Fox

ROOF TILE:

California  
Mission  
Blend  
1BCCS6464

EXTERIOR  
STONE:

N/A



Justin Boazell  
Qualified Designer

**RICHMOND**  
AMERICAN HOMES  
LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 (702) 638-4400

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The user agrees to hold  
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information.

Date: 6/10/2024

Seasons at  
Ponder Valley  
(Pyle - Haven II)  
CLARK COUNTY

Plan Number:  
**L961**

Plan Name:  
**LANTANA DUO**

Sheet Title:

**ELEVATION A**

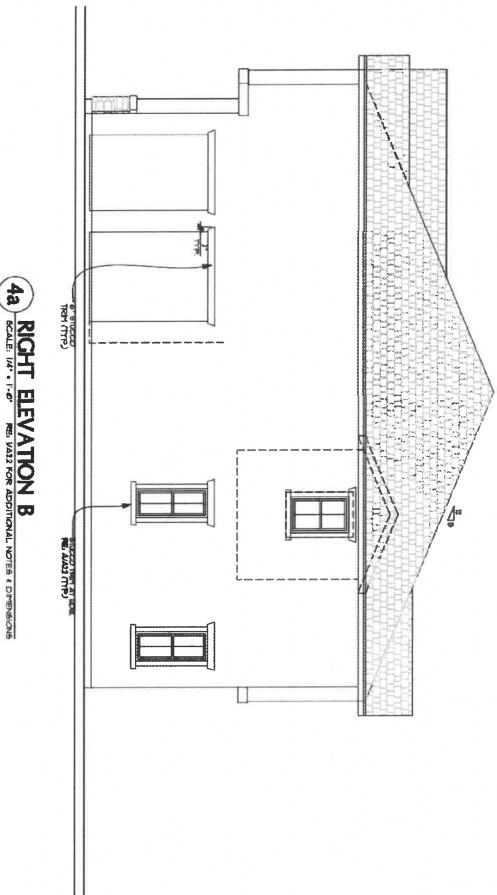
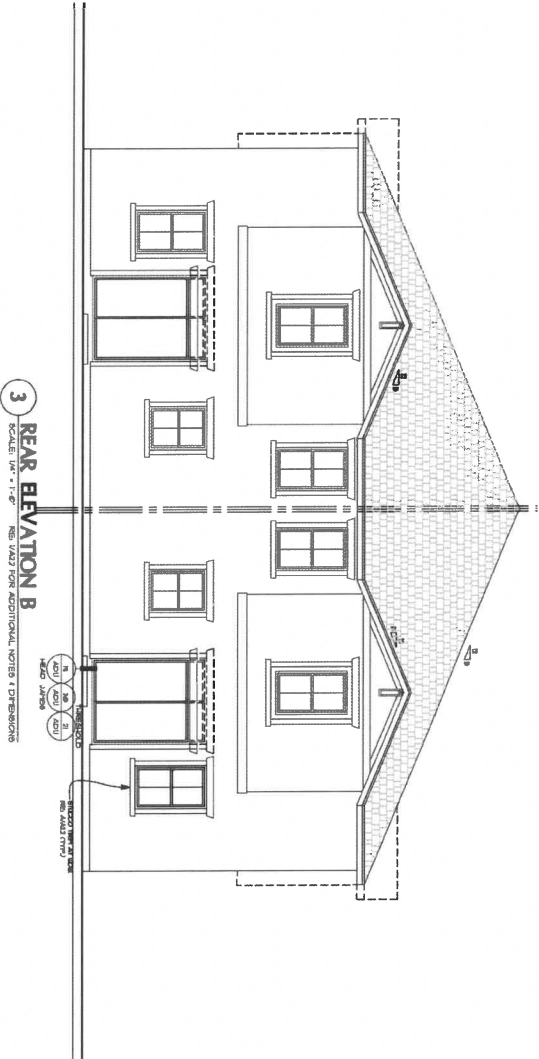
Sheet Number:  
**A2.1**





CRAFTSMAN COLOR SCHEME

BODY:	SW7518 Beach House
TRIM:	SW6084 Modest White
FASCIA:	SW6084 Modest White
GARAGE DOOR & GATES:	SW6084 Modest White
SHUTTERS/ FRONT DOOR:	SW2846 Roycroft Bronze Green
DECORATIVE:	SW6084 Modest White
ROOF TILE:	Saxony Brown Blend 1FACS3233
EXTERIOR STONE:	Mountain Ledge Champagne



Justin Board  
Qualified Engineer

**RICHMOND**  
AMERICAN HOMES  
LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 (702) 638-4400

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Date: 5/15/2024

Revisions:

SEASONS AT  
PEUNTER VALLEY  
(PYLE - HAVEN II)  
CLARK COUNTY  
Plan Number:  
L961

Plan Name:  
LANTANA DUO

Sheet Title:  
ELEVATION B

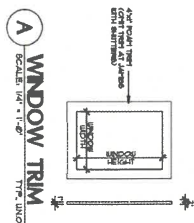
Sheet Number:  
A22  
b

**ELEVATION NOTES**

ALL MATERIALS LISTED BELOW ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.

- ROOMS MATERIAL TO BE IDENT. ARE NOTED ROOMS.
- CONCRETIC ROOF TILE (200.00) (200.00)
- STUCCO MATERIAL TO BE IDENT. DIAGONAL WALL.
- STUCCO VENEER (200.00) (200.00)
- STONE MATERIAL TO BE ENVIRONMENTAL (200.00)
- MANUFACTURED STONE VENEER (200.00) (200.00)

NOTE: GRADE AND LISTED WITH X DEPTH



**RICHMOND**  
AMERICAN HOMES

LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89179 (702) 638-4400

**PRAIRIE/ITALIAN COLOR SCHEME**  
**BODY:** SW7039 Virtual Taupe

SW7039 Virtual Taupes

SW7036 Accessible Beige

SW7036 Accessible Beige

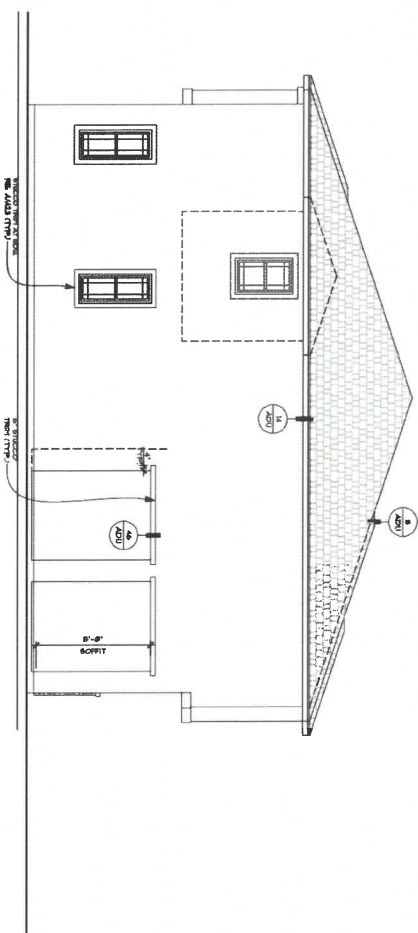
SW7041 Van Dyke Brown

SW6069 French  
Roast

SW7036 Accessible Beige

Saxony  
Charcoal

ProStack  
Lite Cedar  
Mesa



## 2 LEFT ELEVATION C

SCALE: 1/4" = 1'-0"

**SEASONS AT  
PEWTER VALLEY  
(PYLE - HAVEN III)  
CLARK COUNTY**

**Plan Number:**

**L961**

1961

Plan Name:  
**LANTANA DUO**

LANTANA DUO

Sheet Title:

ELEVATION C

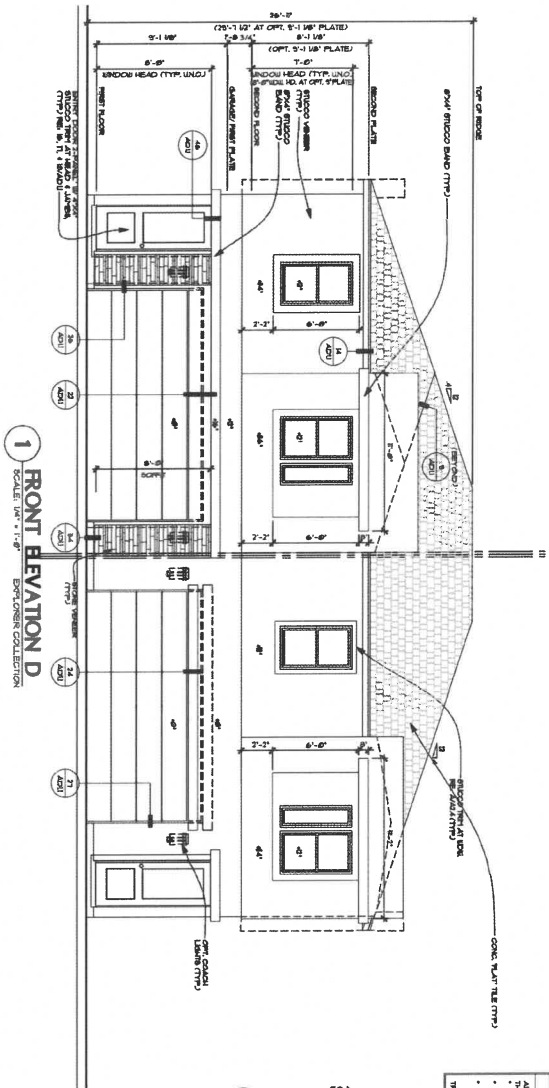
Shoe Number:

## A2.3

2

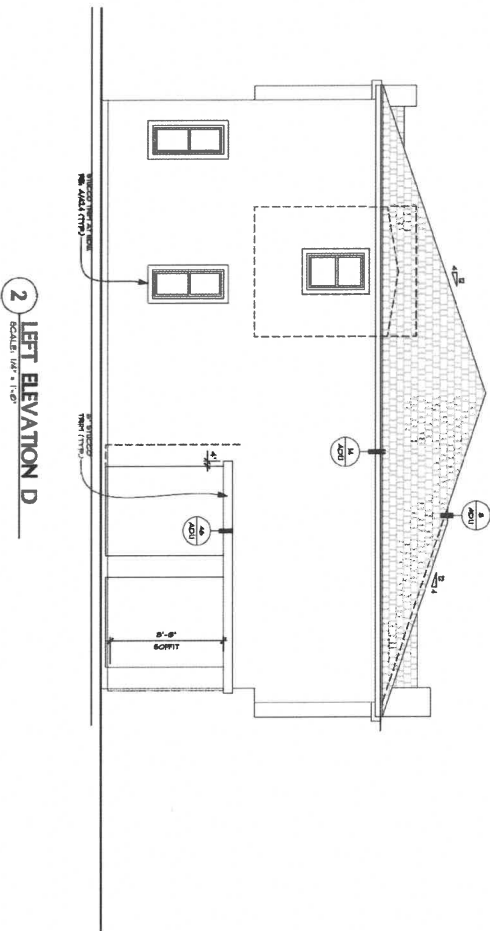
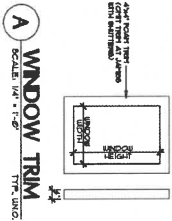


- MEDITERRANEAN COLOR SCHEME
- BODY: SW7029 Agreeable Gray
- TRIM: SW7504 Keystone Gray
- FASCIA: SW7504 Keystone Gray
- GARAGE DOOR & GATES: SW7047 Porpoise
- SHUTTERS/FRONT DOOR: SW7625 Mount Etna
- DECORATIVE: SW7504 Keystone Gray
- ROOF TILE: Charcoal Brown Blend 1BCCS1132
- EXTERIOR STONE: Grey Drift Mountain Ledge



**ELEVATION NOTES**

- ALL MATERIALS LISTED BELOW ARE TO BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
- FINISHES AND COLORS ARE APPROXIMATE. VARIATIONS IN COLOR AND FINISH ARE ALLOWED.
- FINISHES AND COLORS ARE APPROXIMATE. VARIATIONS IN COLOR AND FINISH ARE ALLOWED.
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- FINISHES AND COLORS ARE APPROXIMATE. VARIATIONS IN COLOR AND FINISH ARE ALLOWED.



Sheet Number:  
**A2.4**

Plan Name:  
**LANTANA DUO**

Sheet Title:  
**ELEVATION D**

Seasons at  
Powder Valley  
(Pyle-Haven II)  
CLARK COUNTY  
Plan Number:  
**L961**

**RICHMOND**  
AMERICAN HOMES  
LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 702.638-4400

100% BOBILT  
Quality Employment

MEDITERRANEAN COLOR SCHEME

- BODY:

SW7029 Agreeable Gray
- TRIM:

SW7504 Keystone Gray
- FASCIA:

SW7504 Keystone Gray
- GARAGE DOOR  
& GATES:

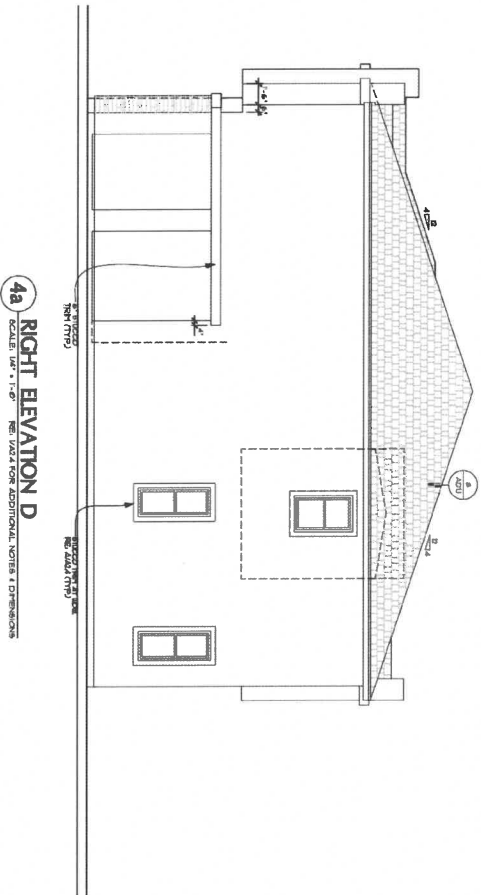
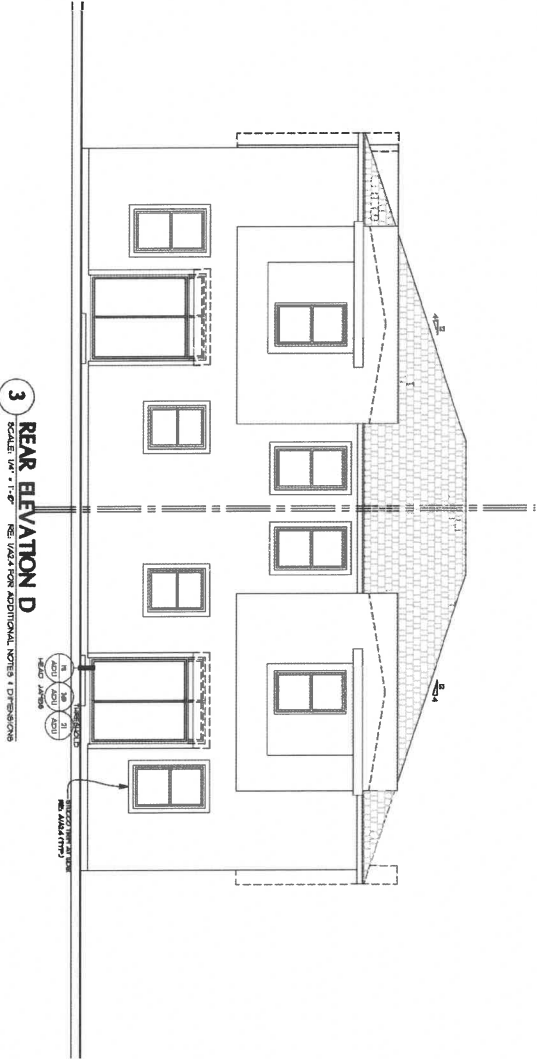
SW7047 Porpoise
- SHUTTERS/  
FRONT DOOR:

SW7625 Mount  
Etna
- DECORATIVE:

SW7504 Keystone Gray
- ROOF TILE:

Charcoal  
Brown  
Blend  
1BCCS1132
- EXTERIOR  
STONE:

Grey Drift  
Mountain  
Ledge



Sheet Number:

A24

b

ELEVATION D

Sheet Title:

Plan Name:

L961

SEASONS AT  
PEWTER VALLEY  
(PTLE - HAVEN II)  
CLARK COUNTY

Plan Number:

Exclusions:

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DATE: 04/27/2024



**RICHMOND**  
**AMERICAN HOMES**

LAS VEGAS  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89175 (702) 638-4400

Printed By:  
Caitlin Hargrave









Sheet Number:  
**A1.2**  
**b**





SQUARE FOOTAGE CALC.			
	FINISHED	OPT. FINISHED	UNFINISHED
3 CAR GARAGE	-	-	4039 SQ. FT.
COVERED ENTRY (LEFT)	-	-	614 SQ. FT.
COVERED ENTRY (RIGHT)	-	-	614 SQ. FT.
FIRST FLOOR	325 SQ. FT.	-	-
SECOND FLOOR	411 SQ. FT.	-	-
TOTAL	500 SQ. FT.	-	-

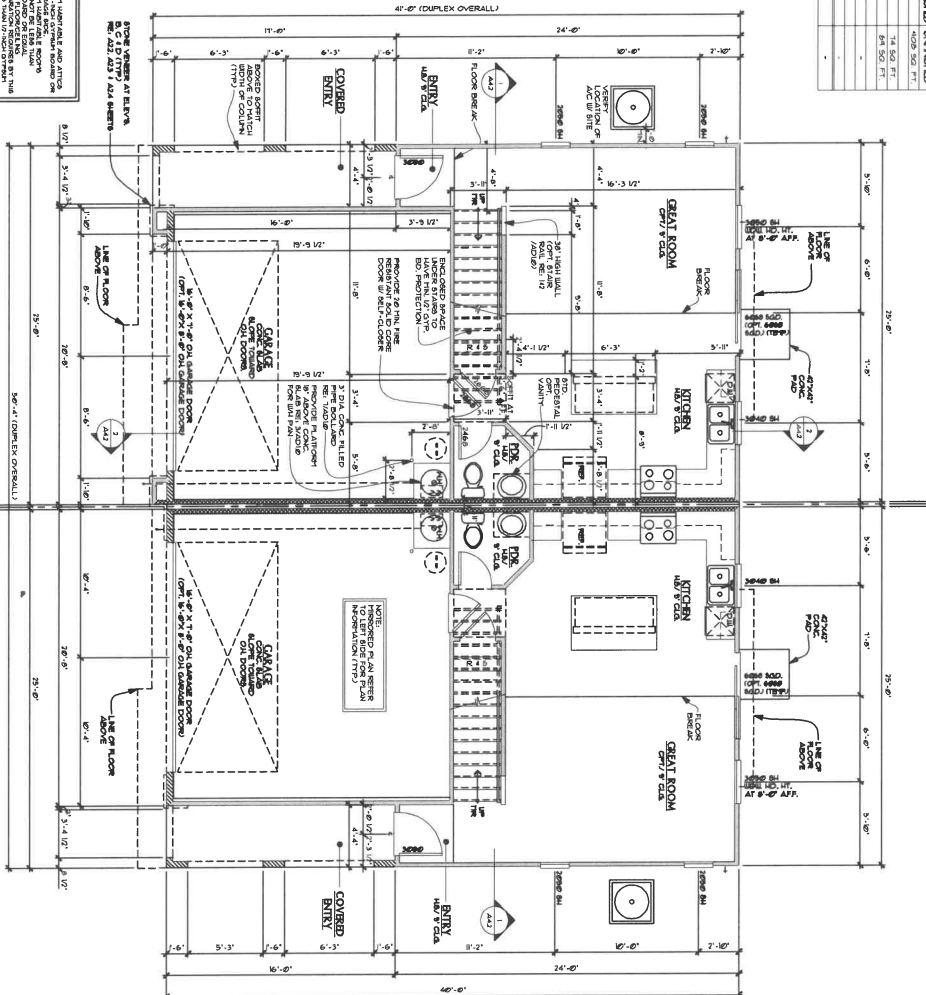
GLAZING NOTES  
1. PER LANTANA CALCULATIONS, ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
2. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
3. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
4. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.

OPT. REAR DOOR NOTES  
1. PER LANTANA CALCULATIONS, ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
2. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
3. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
4. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.

NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
2. ALL WALLS ARE 1/2" THICK UNLESS NOTED OTHERWISE.  
3. ALL FLOORS ARE 4" THICK CONCRETE UNLESS NOTED OTHERWISE.  
4. ALL ROOFS ARE 12" THICK CONCRETE UNLESS NOTED OTHERWISE.  
5. ALL CEILING ARE 8" THICK CONCRETE UNLESS NOTED OTHERWISE.  
6. ALL DOORS ARE 2" THICK UNLESS NOTED OTHERWISE.  
7. ALL WINDOWS ARE 2" THICK UNLESS NOTED OTHERWISE.  
8. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
9. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.  
10. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.

1 LEFT FIRST FLOOR PLAN AT ELEVATION A (SIM. AT ALL ELEV'S.)  
SCALE: 1/4" = 1'-0"

2 RIGHT FIRST FLOOR PLAN AT ELEVATION A (SIM. AT ALL ELEV'S.) (MIRRORRED)  
SCALE: 1/4" = 1'-0"



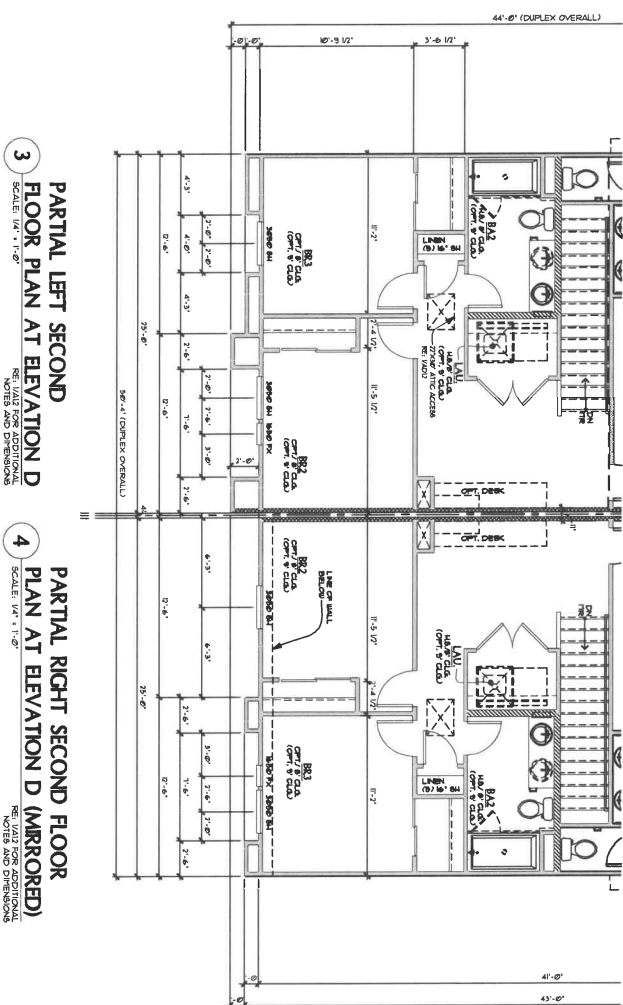
PLAN LEGEND			
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"
20'x30' WALL	1/2" = 1'-0"	1/4" = 1'-0"	1/8" = 1'-0"

NOTES:  
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.  
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10. ALL GLAZING SHALL BE 1/2" THICK GLASS WITH AN IR COATING.

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Las Vegas, NV 89119 (702) 638-4400

SEASONS AT PEWTER VALLEY (PYLE - HAVEN II) CLARK COUNTY  
Plan Number: L961  
Pen Name: LANTANA DUO  
Sheet Title: FIRST FLOOR PLAN  
Sheet Number: A1.1





**PARTIAL LEFT SECOND  
FLOOR PLAN AT ELEVATION D**

3 SCALE: 1/4" = 1'-0"

REF: 1/412 FOR ADDITIONAL  
NOTES AND DIMENSIONS

**4** PARTIAL RIGHT SECOND FLOOR  
PLAN AT ELEVATION D (MIRRORED)  
SCALE: 1/4" = 1'-0"  
SEE 1A12 FOR ADDITIONAL  
NOTES AND DIMENSIONS

























**GLAZING NOTES**

PER ENERGY CALCULATIONS,  
• U-VALUE IS 0.23  
• VENTILATION IS 1.0  
• WEATHER THE GLAZING WILL BE WITH  
THE ENERGY CALCULATIONS.

OPT. 1/ SECOND FLOOR CLG.

- UNDOUBLED HEIGHT
- ROOFING IS 0.7 A/F (TYP.)
- OPT. 2/ TALL DOORS
- ONLY AVAILABLE AT  
OPT. 1/ CLG.

**PLAN LEGEND**

	7/4 BALL		1C = 2C		PLAY SCOTT
	7/4 BALL		1-HOUR		FF, B-D, A/F
	7/4 BALL		1-HOUR		NOVA, 4- A/F
	7/4 BALL		1-HOUR		NOVA, 4- A/F
	7/4 BALL		1-HOUR		APACED SCOTT
	7/4 BALL		1-HOUR		TOP OF JACOB
	7/4 BALL		1-HOUR		B-D, A/F, NOVA
	7/4 BALL		1-HOUR		FOR REBUTT A/F

**NOTES:**

1. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

2. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

3. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

4. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

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6. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

7. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

8. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

9. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

10. ALL DISTANCES ARE ESTIMATED. A 10% ADJUSTMENT SHOULD BE MADE FOR A 10% VARIATION IN THE DENSITY OF THE SOIL.

Justin Bozarth,  
Qualified Employee



**LAS VEGAS**  
770 East Warm Springs Road, Suite 240  
Las Vegas, NV 89119 (702) 638-4400

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Date: 04/12/2014

Date: 04/12/2021

## Revisions

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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**SEASONS AT  
PEWTER VALLEY  
(PYLE - HAVEN II)  
CLARK COUNTY**

Plan Number

L961

Plan Name:

LANTANA DUO

Sheet Title

**PARTIAL  
SECOND  
FLOOR PLAN**

Sheet Number

## A1.2

**P**

Neighborhood Meeting Summary  
San Mateo / Ann  
September 30, 2024

A neighborhood meeting was held on Monday, September 30, 2024 at 5:30 p.m. at the Aliante Library at 2400 Deer Springs Way. Lexa Green was in attendance on behalf of the developer, along with one developer representative. Councilman Scott Black was present, along with six (6) residents. The residents asked general questions about the development and posed the following questions:

- Traffic along San Mateo Street and Ann Road. *The developer is required to conduct a traffic study prior to pulling building permits. Additionally, the west half of San Mateo will be improved with the development.*
- Noise from traffic along Ann Road and the adjacent tire shop. *The developer has conducted a sound study on noise generated by the tire shop and has designed the project to reduce the effects of the tire shop's operations on future residents by placing open space areas directly adjacent to the site.*
- Why the single access point on San Mateo Street? *Montgomery Street is a private road that would likely require an easement or agreement to be used for access to the development. As for access on Ann Road, the proximity of the driveways to San Mateo Street and Montgomery Street is minimal, an introducing another driveway in that space, in addition to the bus turn out, would create further traffic conflicts.*
- What is the setback of the northernmost homes to the northern property line? *Each home is set back a minimum of 10 feet from the northern property line.*
- Height of the proposed homes. *The maximum height of the homes is just under 29 feet.*
- Ongoing issues with dumping on the site.
- Ongoing issues with 18-wheeler parking on Montgomery Street.

The residents expressed satisfaction with the residential nature of the project.



# NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.

USE THIS SCALE FEET WHEN MAP REDUCED FROM 11X17 ORIGINAL.

## MAP LEGEND

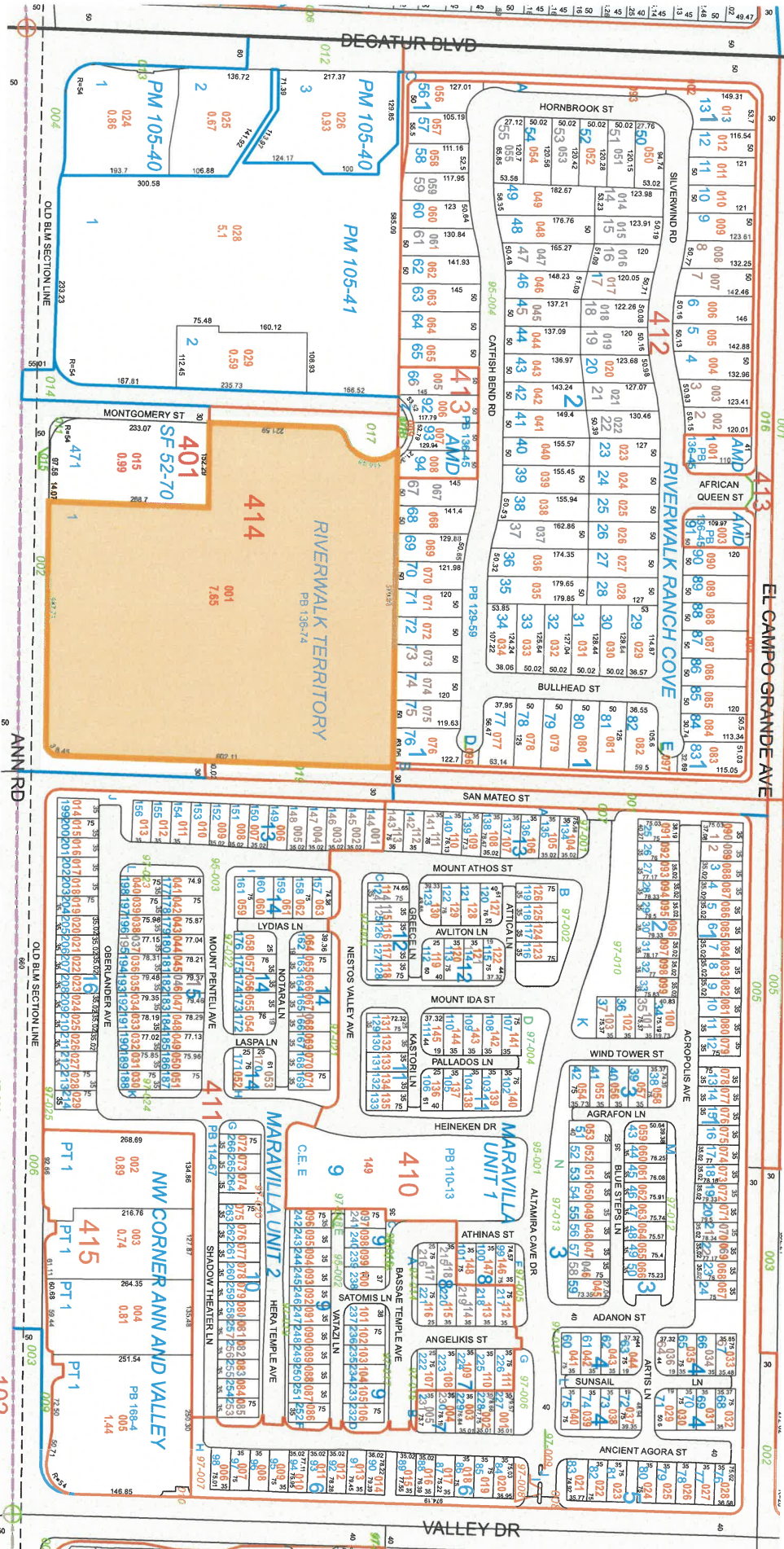
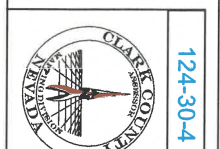
- PARCEL BOUNDARY
- SUB-D BOUNDARY
- ROAD EASEMENT
- MATCH / LEADER LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- SECTION LINE
- CONDOMINIUM UNIT
- AIR SPACE POL
- RIGHT OF WAY POL
- SUB-SURFACE POL

## ASSESSOR'S PARCELS - CLARK CO., NV.

### Briana Johnson - Assessor

BOOK	T19S R6E	SEC.	MAP
99	100	101	102
26	125	124	123
37	138	139	140
163	162	161	

Scale: 1" = 200'	Rev: 8/17/2022
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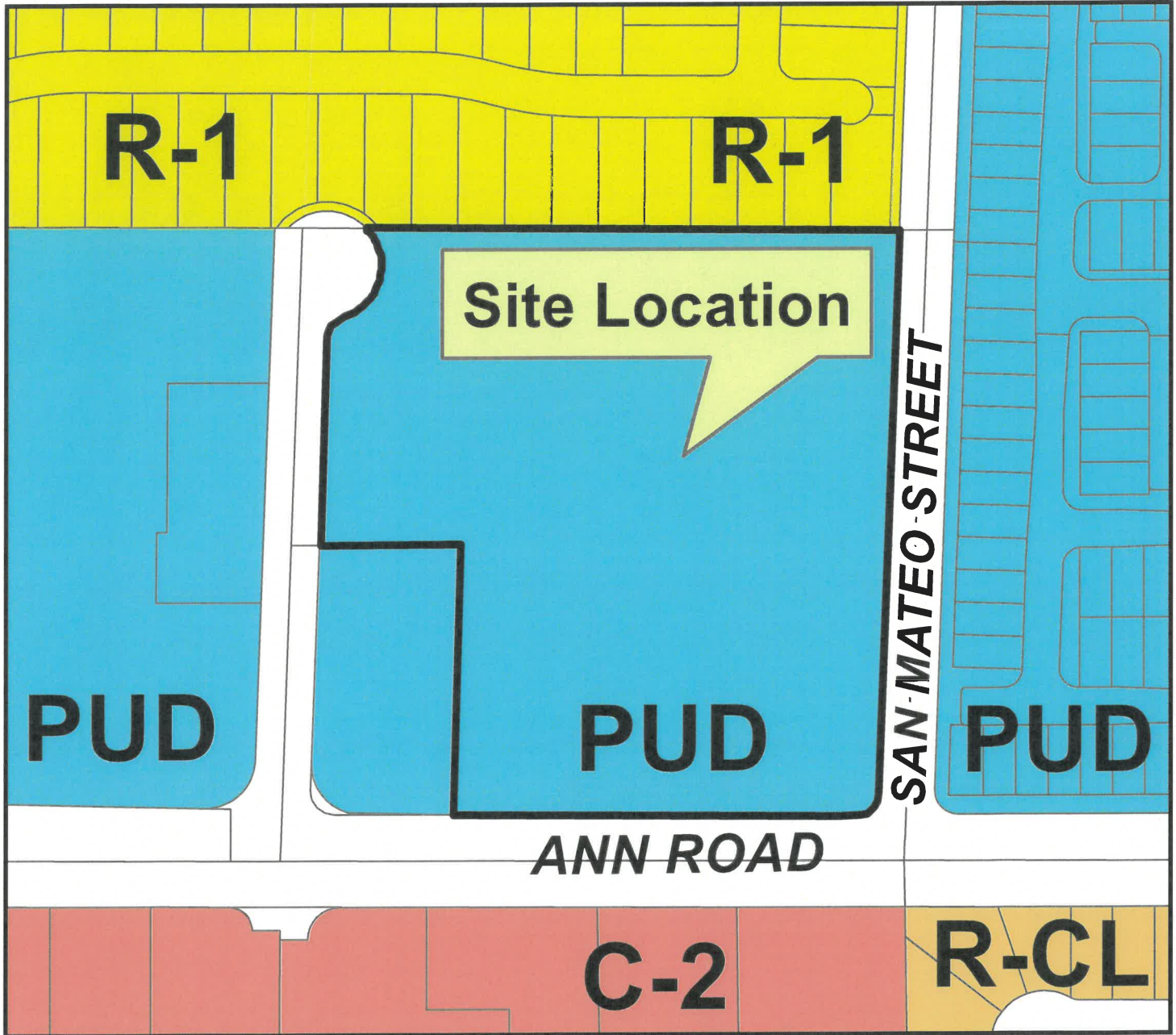


TAX DIST 250



# THE CITY OF NORTH LAS VEGAS

## Location & Zoning Map



Applicant: Richmond American Homes  
Application: Property Reclassification  
Request: From a PUD, Planned Unit Development District, to a  
New PUD, Planned Unit Development District  
Project Info: Northwest Corner of Ann Road and San Mateo Street  
Case Number: ZN-18-2024

11/07/2024

