

CITY OF NORTH LAS VEGAS

INTEROFFICE MEMORANDUM

To: Sharianne Dotson, Planner, Land Development & Community Services
From: Duane McNelly, Major Projects Coordinator, Department of Public Works
Subject: SUP-74-2021 & SUP-75-2021 **EOT Terrible Herbst**
Date: February 15, 2024

The Department of Public Works has reviewed the application and has no objection to the requested extension of time, subject to the original conditions of approval in SUP-74-2021 & SUP-75-2021.

Jimmy Love

Digitally signed by Jimmy Love
DN: C=US,
E=lovej@cityofnorthlasvegas.com, O=City
of North Las Vegas, OU=Development &
Flood Control, CN=Jimmy Love
Reason: I am the author of this document
Date: 2024.02.15 11:33:08-08'00'

Jimmy Love, Major Projects Coordinator
Department of Public Works

CITY OF NORTH LAS VEGAS
INTEROFFICE MEMORANDUM

To: Sharianne Dotson – Planning & Zoning
From: Jared Luke – Director of Economic Development
Subject: SUP-74-2021 and SUP 75-2021 – 2440 Las Vegas Boulevard, North
Date: December 16, 2021

SUP-74-2021 and associated SUP-75-2021 represent two applications submitted for a new construction project on 2.22 acres of land located within the North Redevelopment Area at 2440 Las Vegas Boulevard, North. SUP-74-2021 requests a special use permit in a C-2 (General Commercial District) to allow a convenience store with gas pumps and beer-wine “off-sale.” SUP-75-2021 requests a special use permit in a C-2 (General Commercial District) to allow a vehicle washing establishment facility.

The subject site, located within the City’s North Redevelopment as presented will provide for new construction and investment in an area that has not seen any new development in many years. Additionally, new commercial services will be made available for residents while also creating new employment opportunities.

Development of this project is consistent with the 2009 Downtown Master Plan and Investment Strategy as a long range investment opportunity, and approval of these applications provides for significant investment in both real and personal property. More importantly, the applicant plans for building designs that include architectural elements that are aesthetically pleasing with perimeter landscaping that meet or exceed city standards for Las Vegas Boulevard as noted within the Downtown Master Plan.

Redevelopment Agency staff is in full support of commercial project as proposed and the associated special use permits.

John David Burke, Architect

a Professional Corporation

January 10, 2024

City of North Las Vegas
Land Development & Community Services
Planning & Zoning
2250 Las Vegas, North, Suite #125
North Las Vegas, Nevada 89030

Permit No.: 226-2023 – Terrible Herbst
Zoning Numbers: SUP-74-2021 & SUP-75-2021
Address: 2440 N Las Vegas Blvd.
Re: Letter of Intent – Extension of Time Application

To Whom It May Concern:

This letter of intent is for the extension of time application for SUP-74-2021 & SUP-75-2021 as they are set to expire on January 12, 2024. The applicant has been working diligently over the past two years to obtain permits but the civil engineering approval took much longer than expected.

The applicant respectfully requests the approval of this extension of time request as the permits are on the verge of being pulled and he would like to begin construction as soon as possible. This is the first extension request and a two (2) Year extension would ensure that this will be the last extension request.

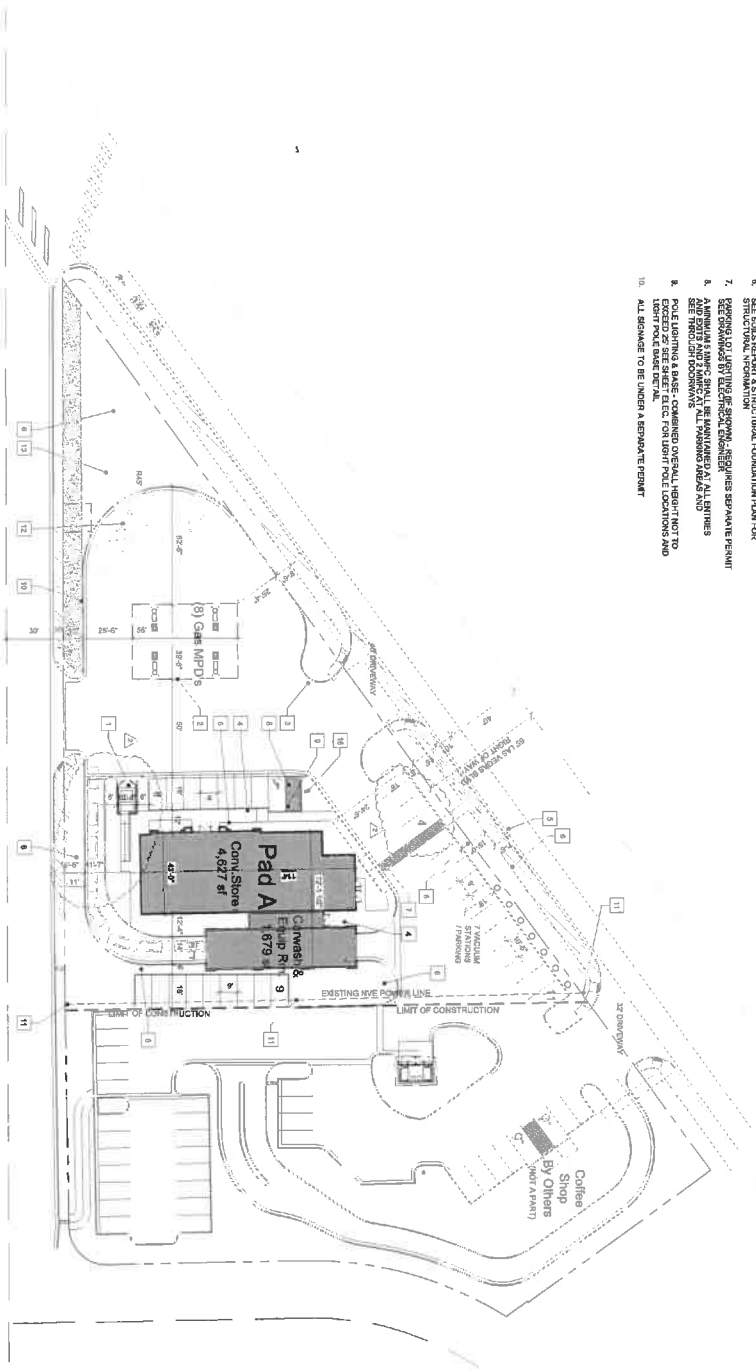
Thank you and if you have any questions, please do not hesitate to call.

Sincerely,

Jeff Freund , Architect
John David Burke, Architect

Site Notes

1. SEE PLAN FOR ALL PAUL, GRADES, UTILITY HOODS, ETC.
2. OFF SITE IMPROVEMENTS, METERS & BOLLARDS, TRANSFORMERS ETC.
3. ALL EXISTING UTILITIES, LOCATIONS, AND DEPT'S FOR ALL WORKING TRANSVERSE SLOPE TYPE.
4. MAXIMUM SLOPE IN ANY DIRECTION FOR HANDICAPPED PARKING SPACES SHALL BE 1:50.
5. ACCESSIBLE ROUTE IS REQUIRED TO HAVE A MINIMUM SLOPE OF 1:50 IN ALL DIRECTIONS. NO ONE NO MORE THAN 1/8" PER FOOT.
6. POLYMER CONCRETE SHALL BE USED FOR ALL TOILET JOINTS.
7. SEE ECOLA REPORT A STRUCTURAL FOUNDATION PLAN FOR STRUCTURAL INFORMATION.
8. REPAIRS TO EXISTING STRUCTURES SHALL BE SEPARATE PERMIT.
9. A MINIMUM 3" MINIMUM SHALL BE MAINTAINED AT ALL ENTRIES AND EXITS AND CORNERS. ALL PARKING AREAS AND DRIVEWAYS SHALL BE MAINTAINED.
10. POLE LIGHTING & BASE, COMING OVERALL HEIGHT NOT TO EXCEED 22' SEE SHEET REC FOR LIGHT POLE LOCATIONS AND ALL REPAIRS TO BE UNDER A SEPARATE PERMIT.



Site Plan

scale: 1" = 30'-0"

Keynotes

#	Description
1	SPALL FACE CONCRETE BLOCK TRUSS ENCLOSURE - SEE SHEET S071
2	GAS PUMP CANNERY ABOVE - CONDOY AND PAUL SYSTEM BY OTHERS
3	AC PAVING
4	CONCRETE SIDEWALK
5	SEWER, CURB & GUTTER PER NORTH LAS VEGAS STANDARDS
6	LANDSCAPING - BY VANTAGE CONCEPTS LANDSCAPING - SEE SHEET L1.1
7	HANDICAP ACCESSIBLE ROUTE
8	HANDICAP ACCESSIBLE ASHLE - SEE SHEET S071
9	ZERO CURB FACE
10	AIR & WATER WAPENNER
11	EXISTING POWER POLE
12	UNDERGROUND RAIL TUNNELS - PAUL SYSTEM BY OTHERS
13	MONUMENTARY PAUL
14	CONCRETE SLOPE LIMBS
15	TEXTURED CONCRETE SIDEWALK
16	PROPOSED FLAG POLE LOCATION - FLAG POLE BY OTHERS

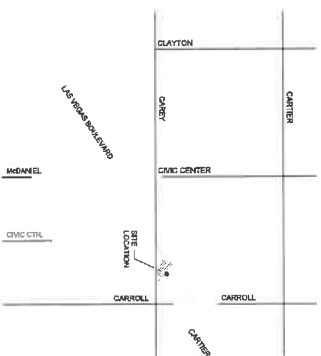
Project Data

EXISTING ZONING: C2
REQUIRED ZONING: C2
EXISTING USE: UNDEVELOPED
PROPOSED USE: SHOPPING CENTER
PROPERTY SIZE: 52,890 S.F./1.2 ACRES (NET)
BUILDING COVERAGE: 11.5%
APN#: A PORTION OF 136-14-401-005

PARKING ANALYSIS

AREA	RATIO	PK REQ.	PK PROV.
PATIO	1,827 S.F.	1000	24
PORE	1,879 S.F.	STACKING SPACES	2
CANWASH	1,879 S.F.	28 SPACES	37 SPACES
TOTAL BUILDING	5,585 TOTAL S.F.		

Location Map



THIS PLAN IS THE PROPERTY OF JDB ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JDB ARCHITECT.

revisions
1. 10/18/2024 ZONING COMMENT

jdB
architect

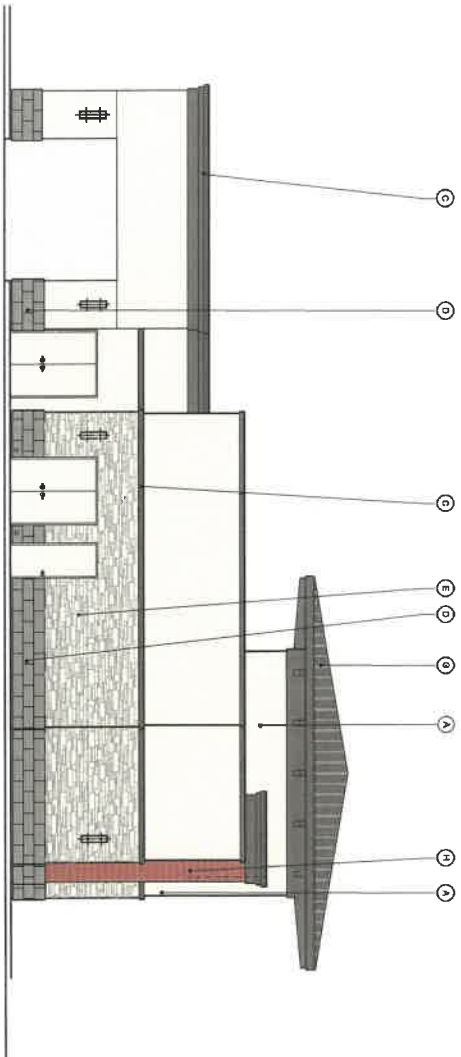
Terrible Herbst
SEC Las Vegas Blvd. & Carey
for: Terrible Herbst
City of North Las Vegas Nevada

sheet no.	date	2/9/23
proj. no.	2021-28	
drawn by		
chkd. by		

ST1

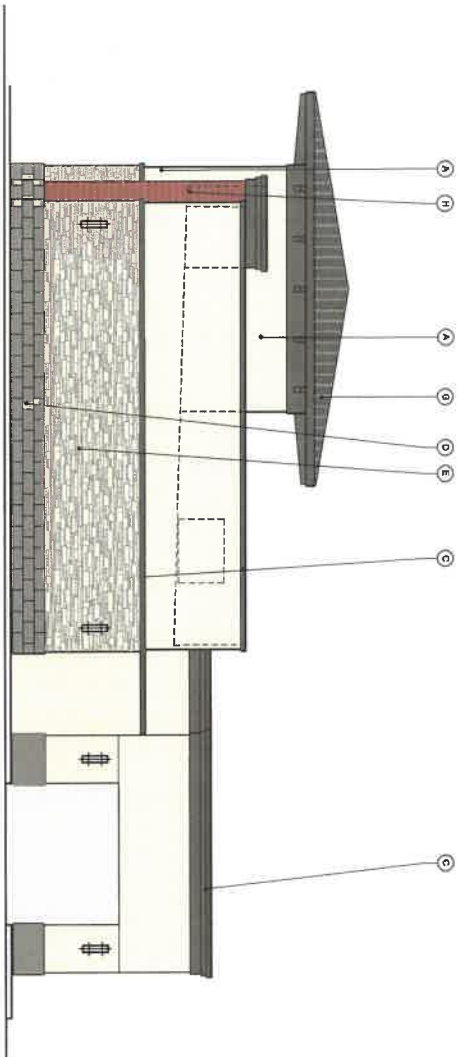
Exterior Finishes

- 1 FIELD PAINT #1:
BROWN
BIOC-142
- 2 FIELD PAINT #2 (OAK WAIR):
BROWN
BIOC-142
- 3 SHERRON OYSTERS
BROWN
BIOC-142
- 4 FIELD PAINT #3: BROWN
BIOC-142
- 5 SHERRON OYSTERS
BROWN
BIOC-142
- 6 BLACK FLOC - SWATCH
BROWN
BIOC-142
- 7 BONE WANDROOT:
BROWN
BIOC-142
- 8 GARDNER #4 - SILVER GREY
BROWN
BIOC-142
- 9 TITAN TONDER:
BROWN
BIOC-142
- 10 GUT DOUBLE STONE - BEAR-BELL
BROWN
BIOC-142
- 11 STORMFOOT #1 GLAZING:
BROWN
BIOC-142
- 12 DARK BROWN WITH CLEAR SOLARISE IN - SEE WINDOW SCHED.
BROWN
BIOC-142
- 13 STAINING SIKAMUWA ROOF:
BROWN
BIOC-142
- 14 DARK BROWN:
BROWN
BIOC-142
- 15 NAT'L STAIN:
BROWN
BIOC-142
- 16 ALUMINUM - 4" PLANK LIGHT NATURAL W/SLANT
BROWN
BIOC-142

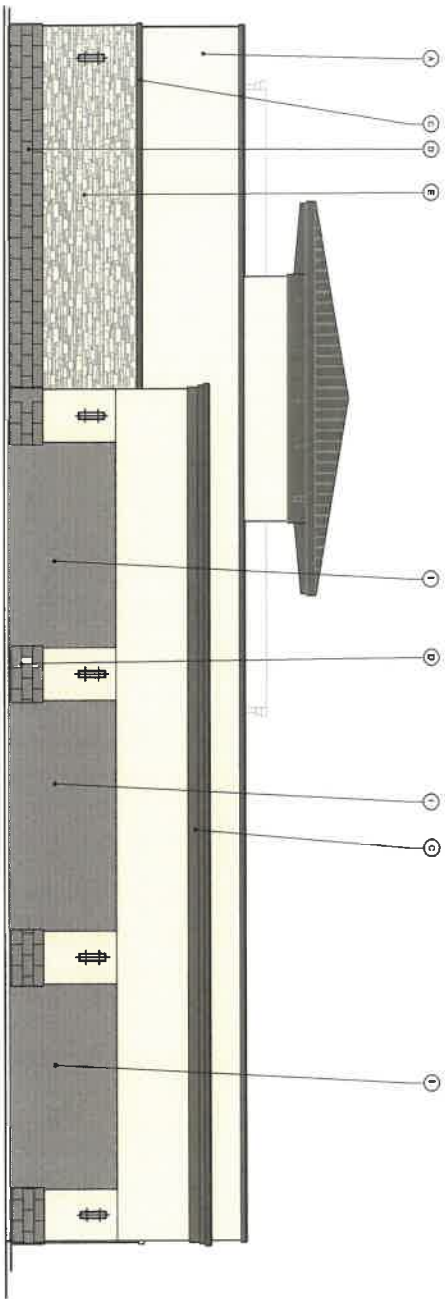


This architectural drawing shows a detailed elevation of a building facade. The facade is composed of several vertical sections. From left to right, there is a section with a light-colored, textured wall (callouts 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20), a section with a red brick wall (callouts 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100), and a section with a light-colored, textured wall (callouts 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200). The drawing includes numerous callouts (1 through 20) pointing to specific architectural features, such as windows, doors, and structural elements. The drawing is oriented horizontally, with the building facade on the left and the callouts on the right.

1 **Elevation**
scale: 3/16" = 1'-0"



South



East

Exterior Finishes

A	FIELD PAINT FINISH SMOOTH
B	FIELD PAINT FINISH BRICK
C	FIELD PAINT FINISH BRICK
D	FIELD PAINT FINISH BRICK
E	FIELD PAINT FINISH BRICK
F	FIELD PAINT FINISH BRICK
G	FIELD PAINT FINISH BRICK
H	FIELD PAINT FINISH BRICK
I	FIELD PAINT FINISH BRICK
J	FIELD PAINT FINISH BRICK
K	FIELD PAINT FINISH BRICK
L	FIELD PAINT FINISH BRICK
M	FIELD PAINT FINISH BRICK
N	FIELD PAINT FINISH BRICK
O	FIELD PAINT FINISH BRICK
P	FIELD PAINT FINISH BRICK
Q	FIELD PAINT FINISH BRICK
R	FIELD PAINT FINISH BRICK
S	FIELD PAINT FINISH BRICK
T	FIELD PAINT FINISH BRICK
U	FIELD PAINT FINISH BRICK
V	FIELD PAINT FINISH BRICK
W	FIELD PAINT FINISH BRICK
X	FIELD PAINT FINISH BRICK
Y	FIELD PAINT FINISH BRICK
Z	FIELD PAINT FINISH BRICK



JOHN D. B. SMITH
ARCHITECT
No. 1948
6/11/28
STATE OF NEVADA

revisions	date	description
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

jdB
architect
John David Smith, Architect, 6780 S. Fort Apache Rd., #110, Las Vegas, NV 89148 (702) 735-4885, jdb@jdbarchitect.com

Terrible Herbst
SEC Las Vegas Blvd. & Carey
for: Terrible Herbst
City of North Las Vegas Nevada

date	2/6/23
proj. no.	2023028
drawn by	
chkd. by	

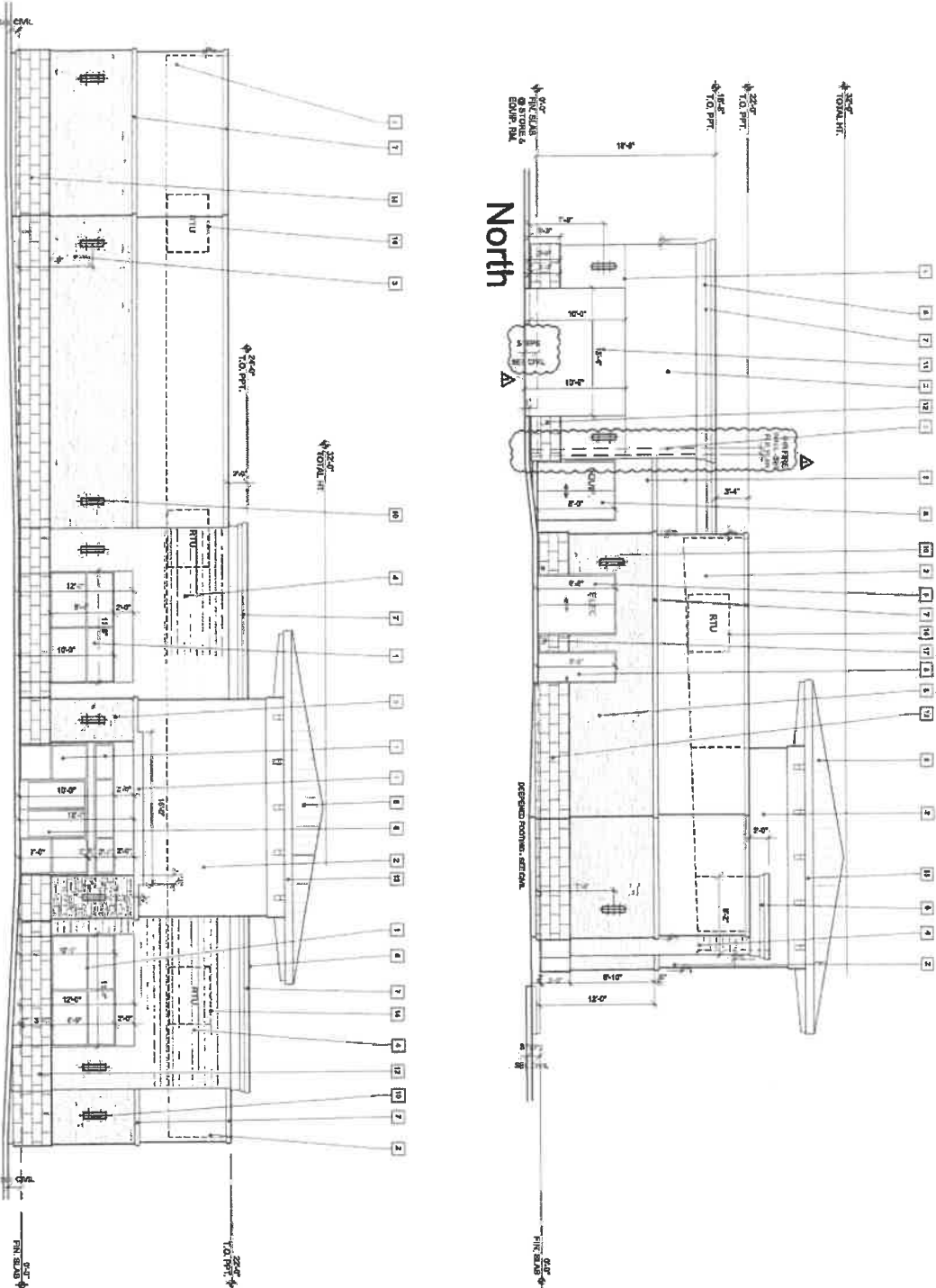
shoot no.
A2.1

revisions

jdB
architect

- John David Bishop, Architect, 6780 N. Fort Apache Rd., #110, Las Vegas, NV 89148 (702) 296-4822, jdbishop@earthlink.net

1
Cleveland
scale: 3/16" = 1'-0"



A1

Terrible Herbst
SEC Las Vegas Blvd. & Carey
for: Terrible Herbst
City of North Las Vegas Nevada

Architectural drawing of the rear elevation of a building. The drawing shows a large stone wall with a central entrance featuring a pediment. A small window is located to the right of the entrance. The drawing includes dimensions and a list of materials.

Dimensions:

- Overall width: 32'-0"
- Overall height: 32'-0"
- Entrance width: 12'-0"
- Entrance height: 8'-10"
- Window width: 7'-0"
- Window height: 10'-0"
- Small window width: 7'-0"
- Small window height: 10'-0"
- Small window depth: 10'-0"
- Small window width: 7'-0"
- Small window height: 10'-0"
- Small window depth: 10'-0"
- Small window width: 7'-0"
- Small window height: 10'-0"
- Small window depth: 10'-0"

Materials:

- STONE
- WOOD
- IRON
- GLASS
- PAINT
- PLASTER
- CEMENT
- BRICK
- CONCRETE
- ASPHALT
- SHINGLE
- SLATE
- CLAY
- GLASS
- PAINT
- PLASTER
- CEMENT
- BRICK
- CONCRETE
- ASPHALT
- SHINGLE
- SLATE
- CLAY

EQUIP., RM.

1 Elevall
scale: 3/16" = 1'-0"

[illegible][illegible]

1. ALL CORNERS TO HAVE RIGHT-AND STUCCO CORNERS READY

1. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
2. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
3. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
4. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
5. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
6. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
7. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
8. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
9. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS
10. ALL CHANGES TO BE MADE MUST BE APPROVED BY THE CHAIRMAN OF THE BOARD OF DIRECTORS

sheet no.	date
A2	proj. no.
	drawn by
	chkd. by

Terrible Herbst
SEC Las Vegas Blvd. & Carey
for: Terrible Herbst
City of North Las Vegas Nevada

jdB
architect

John David Barke, Architect, 6700 E. Fort Apache Rd., #110, Las Vegas, NV 89148 (702)773-4883, jbarke@jdbarchitect.com

revisions	
Rev	Description
1	5/15/21 PLAN CHECK



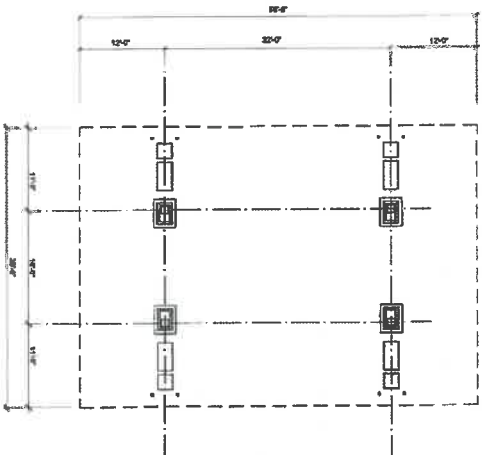
Architectural floor plan of a bathroom. The plan shows a rectangular room with a door on the left wall. The overall dimensions are 16'-0" wide by 8'-0" deep. The plan includes a toilet, a sink, and a bathtub. Callouts A, B, C, and D are located on the right wall, with dimensions 1'-0" and 2'-0" indicated. The plan also shows a shower area and a storage cabinet. The door is labeled "DOOR" and the window is labeled "WINDOW".

Technical drawing of a table with the following dimensions and callouts:

- Overall width: 10'-0"
- Overall depth: 4'-0"
- Tabletop width: 36'-0"
- Callout 1 points to the tabletop.
- Callout 2 points to the front leg.
- Callout 3 points to the rear leg.
- Tabletop height: 28 1/2"
- Front leg height: 15'-0"
- Rear leg height: 15'-0"
- Front leg base: T.O. CHAIR
- Rear leg base: T.O. CHAIR
- Table base: T.O. CHAIR

Fuel Canopy Elevations

Note: signage to be handed under a separate permit



Scale: $1/8" = 1'-0"$

#	Description
1	STONE WALKWAY - WALKWAY TO COMEY WITH HISTORIC WALK OF THE SOLAR INC
2	LEGAL BOUND PLOTS - BY THE COMPANY / COMPANY DISCONTINUED TO BE REVALUED UNDER A SHERMAN'S PENDING
3	WOT LARGO
4	LEGAL TITLES
5	LEGAL W/ OTHER OWNERS
6	STUDIOS BOUND OFF OF ROAD
7	DOCK WALKWAY - REDEVELOPMENT PAVEN CONTROLS

Exterior Finishes

- **FIELD PAINT #1:**
BLACK #22
- **FIELD PAINT #2: CAME WASH:**
SERVING WILLIAMS
WASH OF PINK: #999999
- **REPLAYING "THE
SUNSHINE BOY":**
BLACK PINK: #999999
- **BASE WASHCOAT:**
BLACK PINK: #999999
- **GLASS VARNISH:**
CUT COARSE STONE: #999999

jdB
architect

John Daily Books, Austin, 6557 E. Red Bank Hwy, 7110, Las Vegas, NV 89119 (702) 735-4383, books@johnsbooks.com

The screenshot shows a document titled "revisions". It contains a table with two columns, both labeled "revisions". The table has several rows of data, including dates and names. The first row shows "10/10/10" and "10/10/10". The second row shows "10/10/10" and "10/10/10". The third row shows "10/10/10" and "10/10/10". The fourth row shows "10/10/10" and "10/10/10". The fifth row shows "10/10/10" and "10/10/10". The sixth row shows "10/10/10" and "10/10/10". The seventh row shows "10/10/10" and "10/10/10". The eighth row shows "10/10/10" and "10/10/10". The ninth row shows "10/10/10" and "10/10/10". The tenth row shows "10/10/10" and "10/10/10".

date	2010-05-17
proj. no.	2010-1-001
drawn by	
chkd. by	

Terrible Herbst
SEC Las Vegas Blvd. & Carey
for: **Terrible Herbst**
City of North Las Vegas Nevada

A4

Mayor
John J. Lee

Council Members
Isaac E. Barron
Pamela A. Goynes-Brown
Scott Black
Richard J. Cherchio



City Manager
Ryann Juden

Land Development and Community Services Department

2250 Las Vegas Boulevard, North · Suite 114 · North Las Vegas, Nevada 89030
Telephone: (702) 633-1516 Fax: (702) 649-6091 · TDD: (800) 326-6868
www.cityofnorthlasvegas.com

January 18, 2021

Golcheh Developments and Investments, LLC
1180 S. Beverly Dr., #300
Los Angeles, CA 90035

Re: SUP-74-2021 TERRIBLE HERBST (Public Hearing). Applicant: Golcheh Developments and Investments, LLC. Request: A Special Use Permit in a C-2 (General Commercial District) to Allow a Convenience Store with Gas Pumps. Location: 2440 North Las Vegas Boulevard. (APN 139-14-801-005)

Dear Applicant:

The Planning Commission, at its meeting of January 12, 2022, approved SUP-74-2021. Original Condition No. 4 was amended and Condition No. 5 was deleted.

The amended and renumbered conditions are:

Planning and Zoning:

1. Unless expressly authorized through a variance, waiver or another approved method, this development shall comply with all applicable codes and ordinances.
2. The applicant can process a Beer-Wine-Spirit Based "Off-Sale" liquor license in conjunction with the convenience food store and must comply with all applicable requirements outlined within both Title 5 and Title 17 of the Municipal Code for the City of North Las Vegas.
3. The gas canopy shall match the materials, accents and color scheme of the convenience food store.
4. The landscaping shall comply with the submitted landscaping plan (Exhibit A) dated September 30, 2021.
5. Applicant shall provide the two (2) bicycle parking stalls.
6. Applicant shall relocate trash enclosure away from all street fronts, primary driveway entrances and pedestrian priority areas. The trash enclosure shall use similar materials and color palette as the principal building, include a roof and six (6) feet landscape islands on both sides of the trash enclosure.
7. The decorative paving area at the corner of Las Vegas Boulevard and Carey Avenue shall be hardscaped with decorative pavers or stamped and decorative concrete, include landscaping and tree wells.

Public Works:

8. All known geologic hazards shall be shown on any preliminary development plans and civil improvement plans submitted to the City. Subsequent identification of additional hazards may substantially alter development plans.
9. Approval of a drainage study is required prior to submittal of the civil improvement plans. Conformance may require modifications to the site plan.
10. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope. A queuing analysis may be required. NDOT concurrence is required.
11. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040; Conformance may require modifications to the site.
12. All driveway geometrics shall be in compliance with the applicable *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers.
13. The public streets geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
14. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way.
15. A revocable encroachment permit for landscaping within the public right of way is required.
16. The property owner is required to grant a roadway easement for commercial driveways.
17. The location of the access points on Carey Ave. must meet the requirements of *North Las Vegas Municipal Code* section 17.24.040 and *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Number 222.1.

The decision of the Planning Commission is final unless appealed within seven days of the date action was taken, in writing, to the City Clerk at which time a public hearing will be scheduled before the City Council.

Should you have questions regarding this application, please contact Robert Eastman, Planning & Zoning Manager, 702-633-1530.

Sincerely,



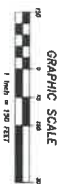
Julie Shields, Executive Secretary
Land Development and Community Services

Cc: Robert Eastman, Planning & Zoning Manager

Jennifer Lazovich
Kaempfer Crowell
1980 Festival Plaza Dr., #650
Las Vegas, NV 89135

North Las Vegas Development, Inc.
5164 Mountain Foliage Dr.
Las Vegas, NV 89148

APN 139-14-801-005



GRAPHIC SCALE

1 inch = 100 FEET

LEGEND

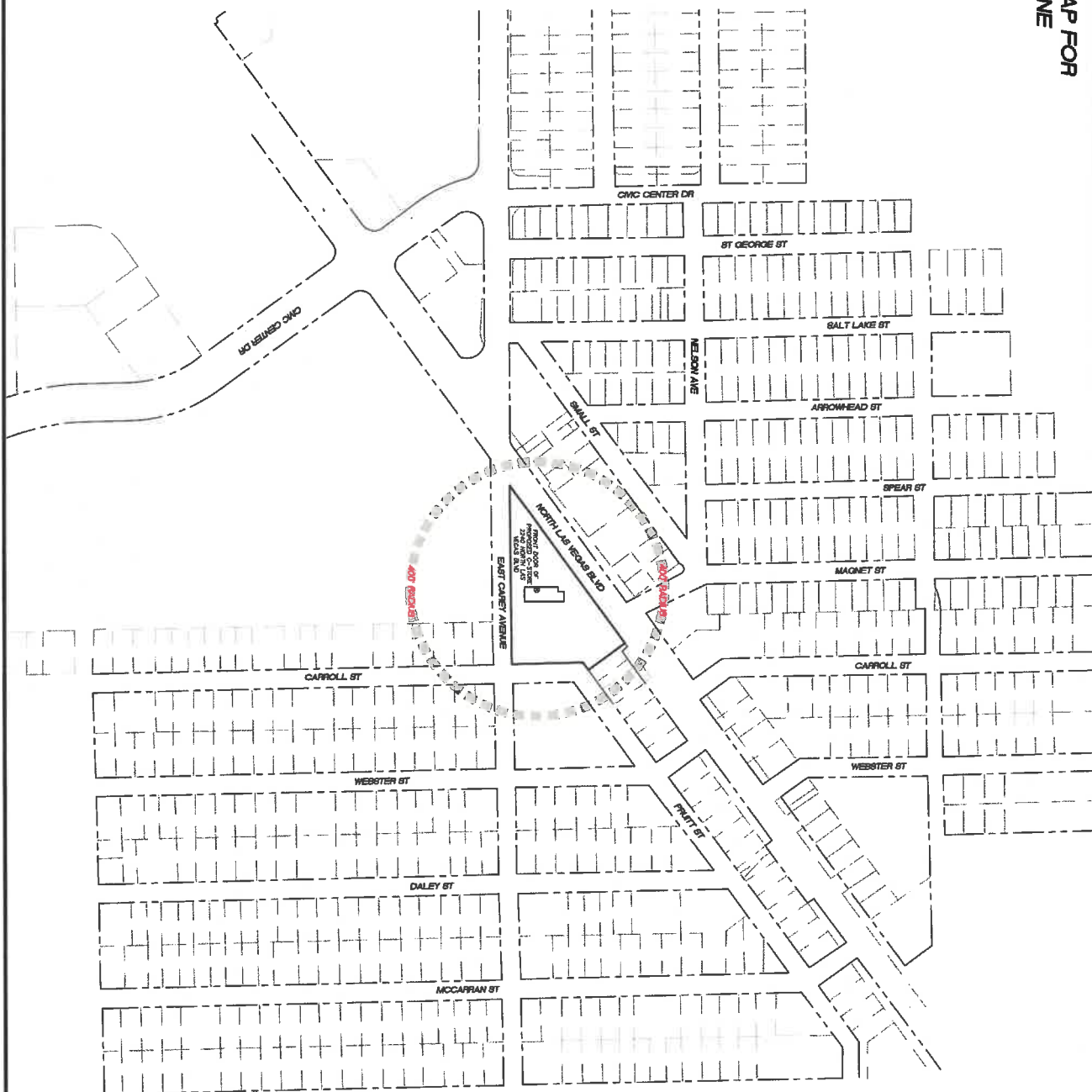
PROPERTY BOUNDARY
FROM "G" - MAY LINE
PROPOSED BUILDING LOCATION
FRONT DOOR

400' RADIUS NOTE:

[illegible]

SURVEY NOTES

THE CLOSEST KNOWN PHYSICALLY OBSERVED SCHOOLS, DAYCARE, CHURCHES, AND PARKS ARE MORE THAN THE 400 FOOT REQUIREMENT AT THE TIME OF THIS SURVEY



HORIZON SURVEYS, LLC
7674 W LAKE MEAD BLVD, SUITE 106
LAS VEGAS, NEVADA 89129
PHONE (702) 228-0066
FAX (702) 228-0677
WWW.HORIZONSURVEYS.COM

PROXIMITY MAP
2240 N LAS VEGAS BLVD
CONVENIENCE STORE
400 FOOT RADIUS

CITY OF NORTH LAS VEGAS

CLARK COUNTY

NEVADA

SCALE 0-1" = 100 FEET

SCALE (V)	N/A
-----------	-----

DRAWN BY	R. BLUM
----------	---------

SEC 32, T 10 & R 02 E MDA

[illegible]

Chloride (ppm)	Ammonia (ppm)	pH

DWD C-STORE
DATE: 06/12/2024
JOB NUMBER
54602
SHEET 1 OF 1

NOTES

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

This map is compiled from official records, including surveys and deeds, but may contain the information required for assessment. See the recorded documents for more detailed legal information.

Briana Johnson - Assessor

[illegible]

6	R	4	3	2	1
7	B	9	10	11	12
18	17	16	15	14	13
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36

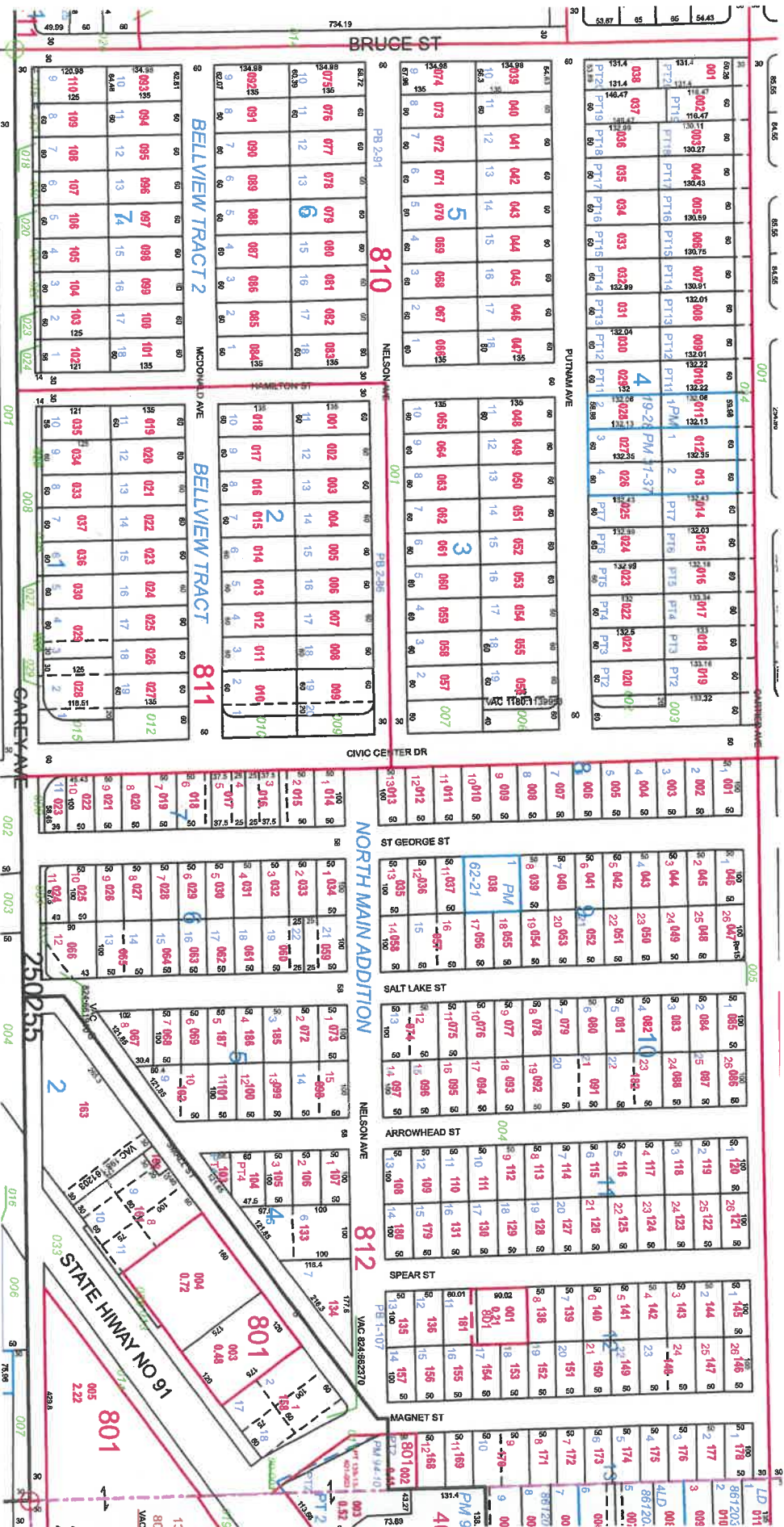
MAP							
	8	4			8		4
	5	1			5		1
	6	2			6		2
	7	3			7		3
	8	4			8		4
	5	1			5		1



Scale: 1" = 200'

Rev: 12/28/2023

5	1	5	1
---	---	---	---

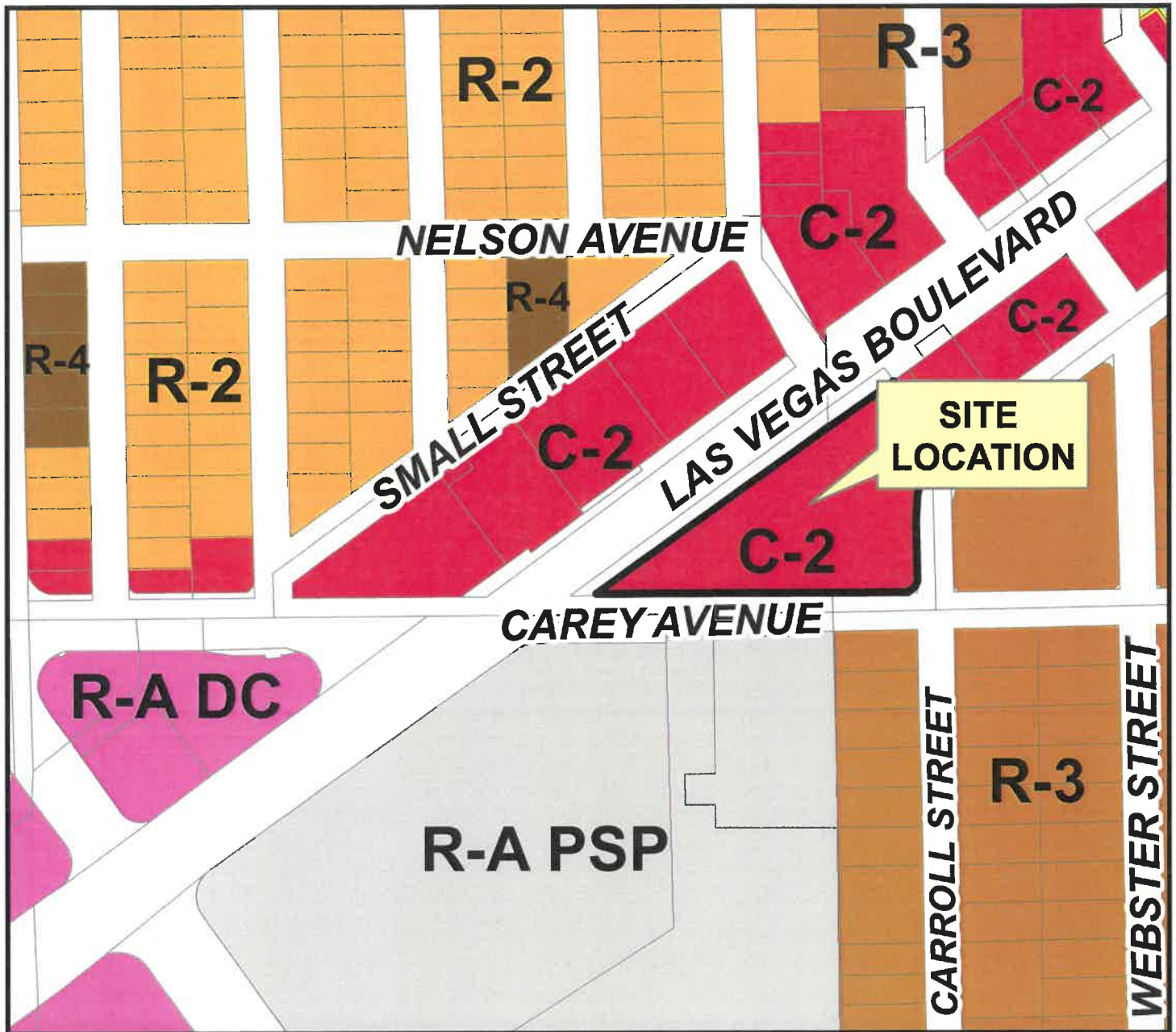


TAX DIST 255,250



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Herbst Development
Application Type: Special Use Permit
Request: An Extension of Time to Allow a Convenience Food Store With Gas Pumps
Project Info: Northeast corner of North Las Vegas Boulevard and Carey Avenue
Case Number: SUP-74-2021

02/07/2024

