

CITY OF NORTH LAS VEGAS INTEROFFICE MEMORANDUM

To: Sharienne Dotson, Principal Planner, Land Development & Community Services Dept.
From: Jimmy Love, Major Projects Coordinator, Department of Public Works
Subject: ZN-20-2024 **Centennial Losee**
Date: December 11, 2024

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code - Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on any preliminary development plans and civil improvement plans submitted to the City. Subsequent identification of additional hazards may substantially alter development plans. The footprint of proposed structures shall be plotted on the subject civil improvement plans and a minimum width of five (5) feet shall be provided from the edge of any proposed structure to the nearest fault and/or fissure.
2. Approval of a drainage study is required prior to submittal of the civil improvement plans.
3. Approval of a traffic study is required prior to submittal of the civil improvement plans. Please contact Traffic Engineering at 633-2676 to request a scope.
4. Dedication and construction of the following streets and/or half streets is required per the *Master Plan of Streets and Highways* and/or *City of North Las Vegas Municipal Code* section 16.24.100:
 - a. Losee Road (sidewalk and streetlights)
 - b. Lawrence Street
5. The property owner is required to grant roadway easements where public and private streets intersect.
6. The size and number of access points and their locations are subject to review and approval by the City Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040 and *Clark County Area Uniform Standard Drawing* number (CCAUSD) 222.1, including throat depths. Conformance may require modifications to the site plan.
7. Security gates shall be provided at the Lawrence Street and Losee Road accesses in accordance with CCAUSD 222.1 including adequate storage lengths, callboxes, and turnarounds.
8. A lighting study is required to demonstrate illuminance meets or exceeds the prescribed levels in the CCAUSD where standard street lighting is not being proposed.
9. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element when that sidewalk is providing public access adjacent to the right-of-way.
10. Adjacent to all perimeter and internal streets, a five foot wide public utility easement shall be granted to accommodate dry utility appurtenances and fire hydrants.
11. A revocable encroachment permit for landscaping within the public right of way is required.
12. The street names shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards, and must be approved by the City of Las Vegas Central Fire Alarm Office.

13. Prior to the installation of any subgrade street improvements, all required underground utilities (i.e., telephone, power, water, etc.) located within public rights-of-way, shall be extended a minimum of ten (10) feet beyond the project boundary.
14. Proposed residential driveway slopes shall not exceed twelve percent (12%).
15. All off-site improvements must be completed prior to final inspection of the first building.
16. All common elements shall be labeled and are to be maintained by the Home Owners Association.
17. A public Utility easement and public Drainage easement will be required over all private streets.
18. Appropriate subdivision and/or parcel mapping is required to complete this project. All mapping shall be in compliance with NRS Chapter 278 and the *City of North Las Vegas Municipal Code* and associated Master Plans in effect at the time of subdivision and/or parcel map approval. Conformance may require modifications to the site.
19. A Revocable Encroachment Permit and Maintenance Agreement is required for the required pedestrian bridge over the existing flood control channel, and is to be privately maintained.
20. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.
21. Should the Applicant desire to change the internal drive aisles to private streets, this project would then be required to comply with the CNLV Private Street Policy.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**: <http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.

Jimmy Love
Digitally signed by Jimmy Love
DN: C=US,
E=jlove@cityofnorthlasvegas.com, O=City
of North Las Vegas, OU=Development &
Flood Control, CN=Jimmy Love
Date: 2024.12.11 14:58:06-08'00'

Jimmy Love, Major Projects Coordinator
Department of Public Works



Engineering • Planning
Surveying • Urban Design
Landscape Architectue

11/26/2024

City of North Las Vegas / City Hall
2250 Las Vegas Boulevard North, Ste. 114
North Las Vegas, Nevada 89030

Reference: Planned Unit Development
Letter of Intent for Centennial Losee
APNs# 124-26-501-019 & 020 Approx. 17.97 +/- acres.

Dear Mr. Saylor:

On behalf of our client Greystone Nevada LLC, we are pleased to provide information about the proposed multi-family condominium development known as Centennial Losee planned for the above referenced parcel numbers. This proposed multi-family condominium development is located south of Centennial and west of Losee Road consisting of 288 condominium units on an overall 17.97 acres with an overall density of 16.03 du/a. The overall site is bifurcated by the existing Upper Las Vegas Trail and Flood Canal and comes to an end at the Centennial Lawrence Trailhead Park located on the north side of our site. This canal creates a natural break for the two separate developments and parcels. During the task force meeting the requirement for a pedestrian bridge to cross the canal and link both sides of the development to each other was brought to our attention by staff. The underlying reason for this pedestrian bridge was due to the lack of useable open space on the previous design, therefore the pedestrian bridge was being required to allow the future residents the ability to “share” the open space between both parcels. With our new design, each parcel stands alone with the requirements for open space and therefore we feel the bridge condition should not be required for this proposed development.

These two parcels that our client is proposing to develop are currently owned by the same owner. The West parcel is 7.24 ac. and has 96 Condominium units situated within (48) duplex buildings that are three stories in height and all units will have attached 2-car garages, the density for the west parcel is 13.25 du/a. The East parcel is 10.73 ac. and has 192 Condominium units situated within (22) 8-plex and (4) 4-plex buildings that are three stories in height and will also have attached 2-car garages for each unit, the density for the east parcel is 17.89 du/a.

The West Parcel (124-26-501-019)

The proposed 96 condominium units will feature a single point of access onto Lawrence Street. Per North Las Vegas City Ordinances, a two-family dwelling unit is required to provide 600 s.f. of open space for each unit. Based on this requirement, the parcel will require 57,600 s.f. of open space with 43,200 s.f. of usable open space. The site as designed provides a total of 91,455s.f. of open space with 29,973 s.f. of open space being designated as usable. The canal trail that is being dedicated with this development is another 13,347 s.f. thus

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bringing the total open space to 104,802 s.f. The 29,973 s.f. of useable open space is scattered throughout the development, for the enjoyment of the residents, and the 13,347 s.f. of canal trail can be used by the residents and the general public. This parcel of land is directly next to the Centennial Lawrence Trailhead Park with direct access to the park along the 20' wide canal trail, which would provide ample added open space that could be used by the residents. The overall site calculation includes 48,135 s.f. of open space that is located throughout the site, however this 48,135 s.f. does not meet the CNLV Title 17 requirement for 20 feet of width, because of this we are requesting an exception to the open space requirement due to the allowances in the CNLV Title 17 for Planned Unit Developments. Regarding parking, the site is required by code to have 192 parking spaces (2.0 p.s. per unit) while the site provides 245 parking spaces (garage and open spaces throughout the site).

The East Parcel (124-26-501-020)

The proposed 192 condominium units will feature a single point of access onto Losee Road. Per North Las Vegas City Ordinances, a multi-family dwelling unit is required to provide 400 s.f. of open space for each unit. Based on this requirement, the parcel will require 76,800 s.f. of open space with 57,600 s.f. of usable open space. The site as designed has 80,248 s.f. of overall open space with all the 80,248 s.f. of open space being designated as usable. The 80,248 s.f. of useable open space is scattered throughout the development, for the enjoyment of the residents, the bulk of the open space is concentrated into 3 areas. These three areas allow for the residents to walk from building to building without the need to walk along the drive aisles, thus reducing the interface of people and vehicles, thereby greatly reducing the risk of injury to the residents. The overall site provides more than the require 76,800 s.f. of open space. Regarding parking, the site is required by code to have 513 parking spaces whereas the site provides 514 parking spaces (garage and open spaces throughout the site). The one area of exception for this parcel is the internal garages, half of each of the buildings utilize tandem garage spaces, which the CNLV does not support. If the tandem spaces were removed from the calculation then the required would be 513 parking spaces and the provided parking spaces would be 418, but since this is a PUD and the theory behind a tandem garage is the same as a garage parking space with a driveway parking space in tandem, then we feel this exception could be granted.

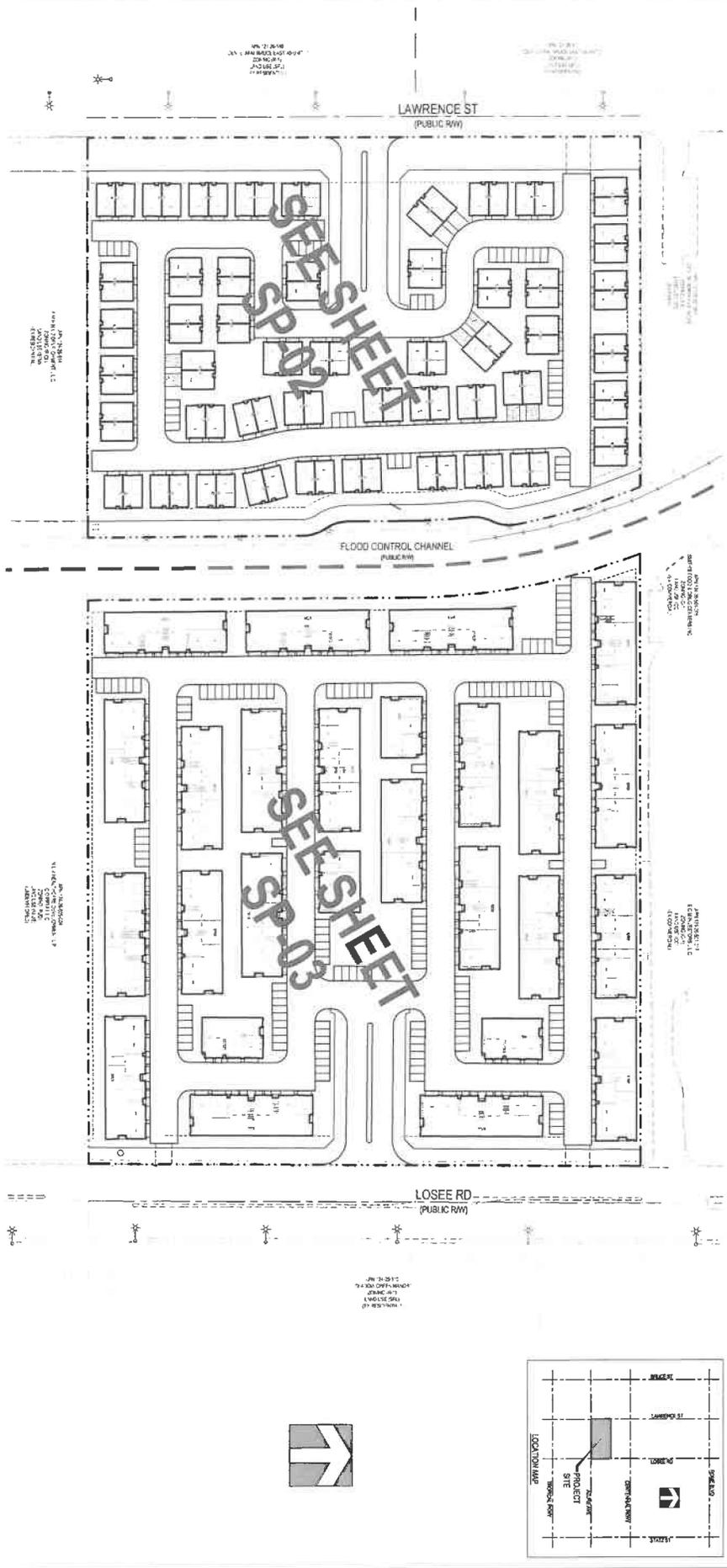
On July 21, 2021, the City of North Las Vegas approved an amendment (AMP-08-2021) to the Comprehensive Master Plan to change the land use designation from Single Family Low to Single Family Medium. There was an accompanied zone change (ZN-12-2021) that was approved at the same meeting that changed the zoning designation from R-E Ranch Estates District to a PUD, Planned Unit Development District. During the task force meeting Along with this approval was a requirement for a pedestrian bridge to cross the canal and link both sides of the development to each other. The underlying reason for this pedestrian bridge was due to the lack of useable open space on the east parcel, therefore the pedestrian bridge was being required to allow the future residents the ability to “share” the open space between both parcels. With this new design, each parcel stands alone with the requirements for open space and therefore we feel the bridge condition should not be required for this proposed development.

We are respectfully requesting your favorable recommendation for the proposed Planned Unit Development. We feel that this will be a premier duplex and multi-family development located in the Northeast area of the Vegas Valley. We look forward to working closely with various City of North Las Vegas staff on the design of this development. We also believe it offers a variety of product types for future buyers, and we believe that this project is compatible to the surrounding developments.

Please feel free to contact me with any questions or concerns about this proposed development at (702)458-2551

Thank you for your consideration,


Mark Bangan
Director of Nevada Operations
The WLB Group, Inc.



EQUAL DESCRIPTION:
 BEING A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER
 ONE (1) OF THE NORTHWEST QUARTER, SECTION 24, TOWNSHIP 36
 NORTH, RANGE 120E, COUNTY OF CLATSOP, OREGON.

BENCHMARK:
 CITY OF NORTH LAS VEGAS BENCHMARK
 BEING A PORTION OF THE SOUTH HALF OF THE NORTHWEST QUARTER
 ONE (1) OF THE NORTHWEST QUARTER, SECTION 24, TOWNSHIP 36
 NORTH, RANGE 120E, COUNTY OF CLATSOP, OREGON.

BASE OF ELEVATIONS:
 BEING THE MEAN SEA LEVEL OF THE NORTH PACIFIC OCEAN
 AS DETERMINED BY THE NATIONAL TIDE GAUGE STATION NO. 9454
 AT ASTORIA, OREGON, AND AS SHOWN ON THE NATIONAL TIDE GAUGE
 REPORT FOR THE YEAR ENDING 1988.

OWNER:
 CENTENNIAL DEVELOPMENT, LLC
 3663 EAST SUNSET ROAD, SUITE 204
 LAS VEGAS, NV 89120

DESIGNER:
 WLB GROUP
 3663 EAST SUNSET ROAD, SUITE 204
 LAS VEGAS, NV 89120

DATE:
 11/25/2024

PROJECT:
 CENTENNIAL LOSEE
 A MULTI-FAMILY DEVELOPMENT

SCALE:
 1" = 20'

DATE:
 11/25/2024

PROJECT:
 CENTENNIAL LOSEE
 A MULTI-FAMILY DEVELOPMENT

SCALE:
 1" = 20'

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 11/25/2024

PROJECT:
 CENTENNIAL LOSEE
 A MULTI-FAMILY DEVELOPMENT

ITEM	DESCRIPTION	DATE
1	PRELIMINARY SITE PLAN	11/25/2024
2	FINAL SITE PLAN	11/25/2024

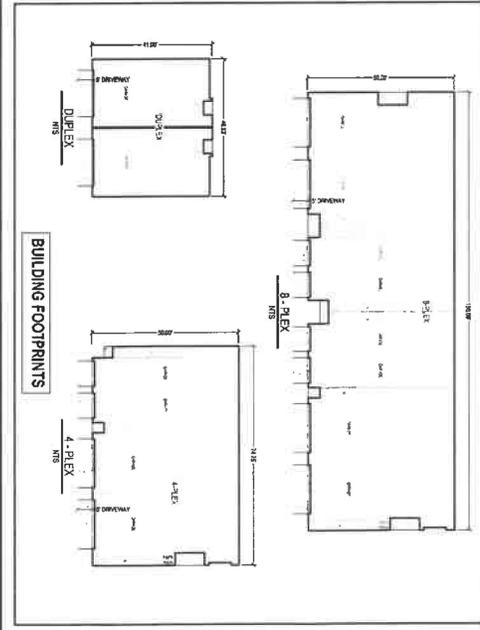
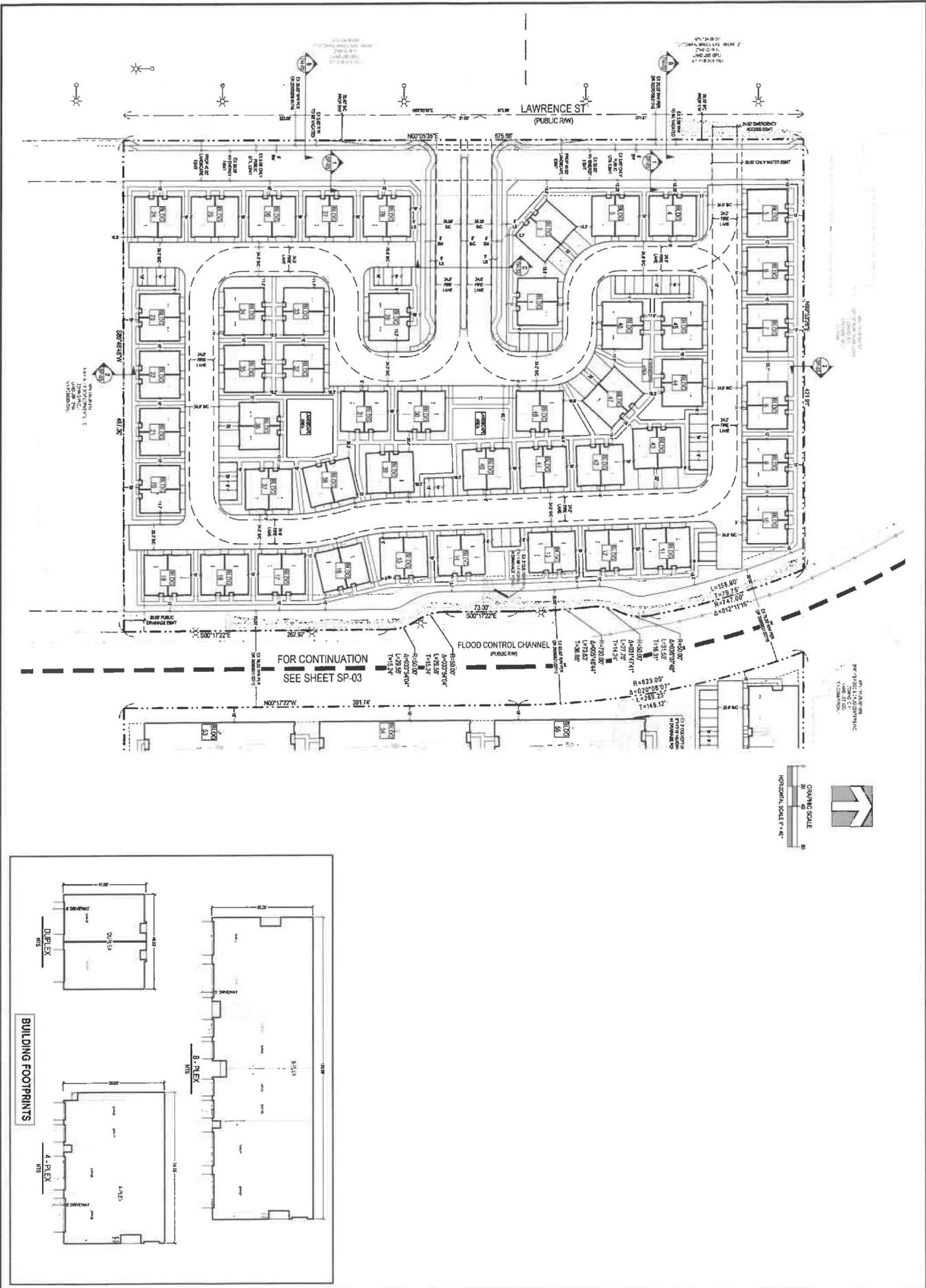
DATE	BY	APPROVAL
11/25/2024	[Signature]	[Signature]

PROJECT:
 CENTENNIAL LOSEE
 A MULTI-FAMILY DEVELOPMENT

CITY OF NORTH LAS VEGAS

WLB GROUP
 Engineering & Landscape Architecture
 Planning & Urban Design & Surveying
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 3663 EAST SUNSET ROAD, SUITE 204
 LAS VEGAS, NV, 89120 (702)458-2551

NO. DATE REVISION BY APPROVAL



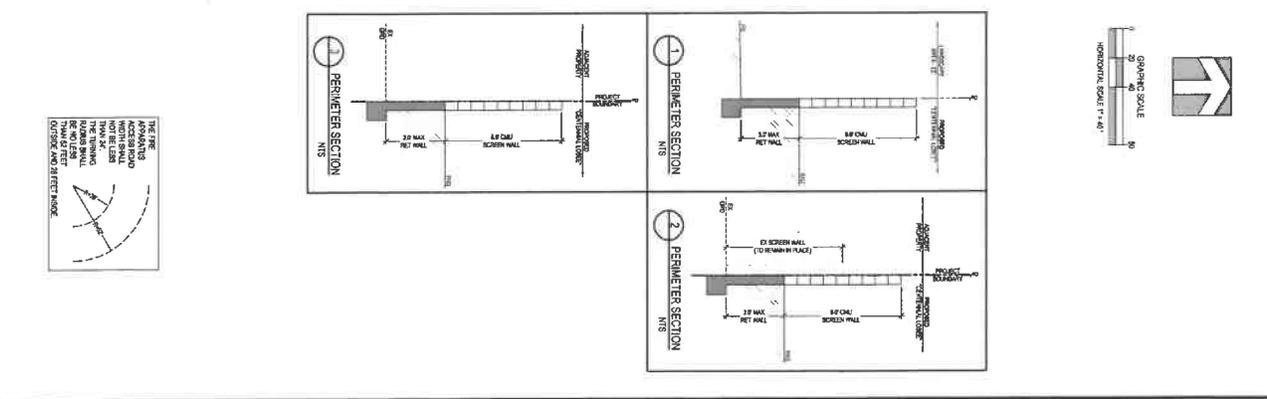
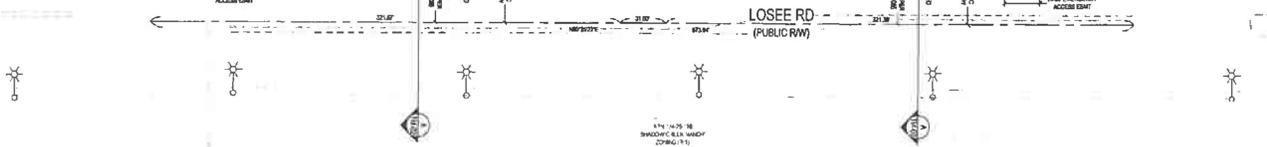
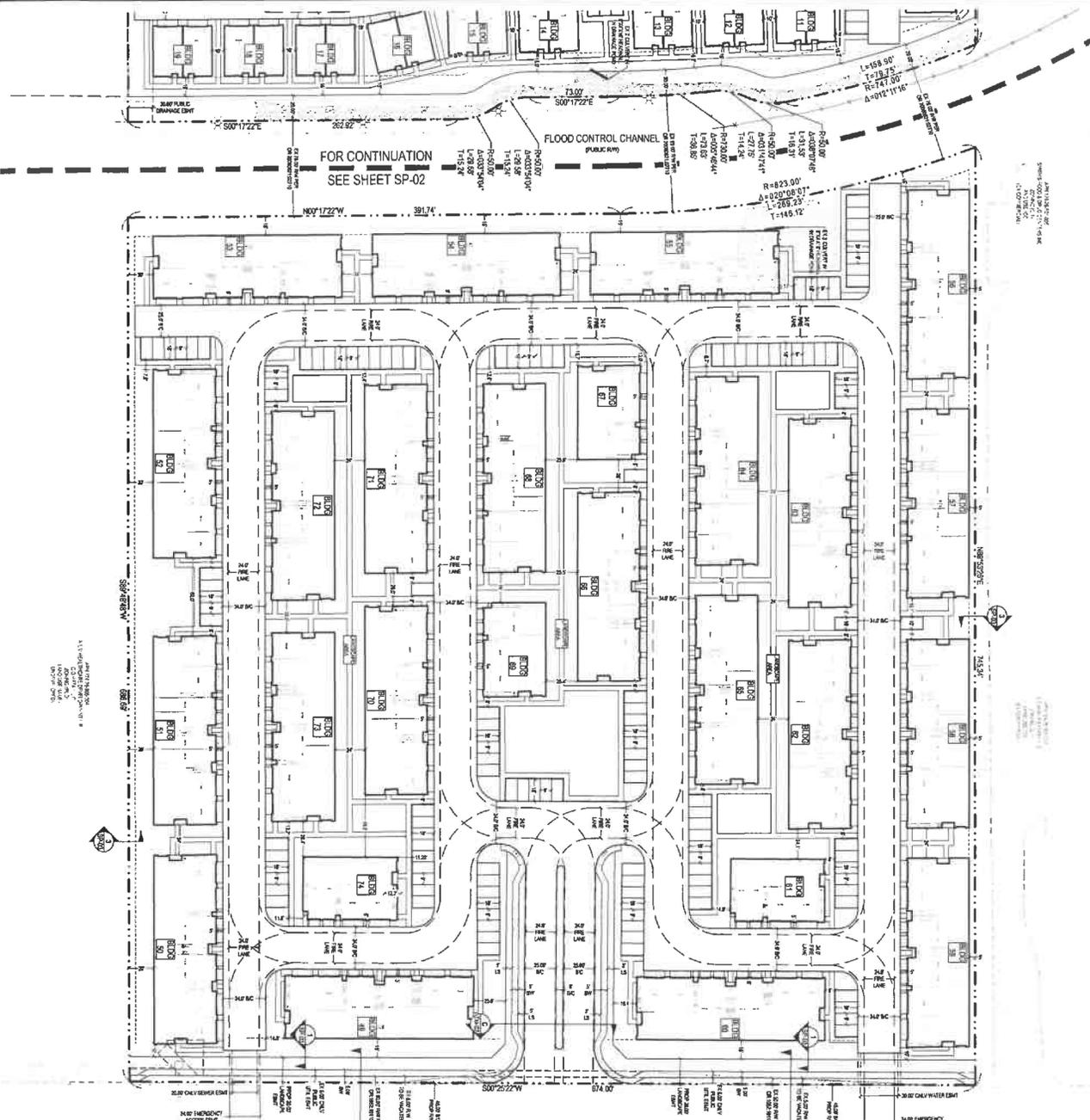
PROJECT	CENTENNIAL LOSEE
	A MULTI-FAMILY DEVELOPMENT
CITY OF NORTH LAS VEGAS	
PROJECT NO.	425002-24-001
SUBMIT DATE	NOVEMBER 25, 2024
DRAWN BY	MSB/DTB
CHECKED BY	MSB
SHEET	SP-02
SHEET	2 OF 3

SHEET TITLE

SITE PLAN
(WEST PARCEL)

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Planning • Urban Design • Building
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LAS VEGAS, NV, 89120 (702)458-2551

NO.	DATE	REVISION	BY	APPROVAL



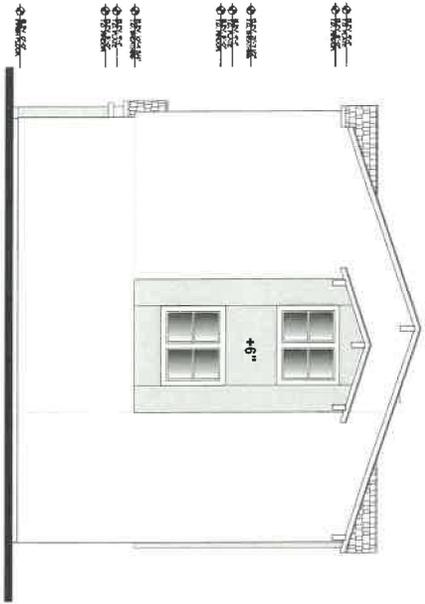
THE PERIMETER SCREEN WALL SHALL BE CONSTRUCTED AS SHOWN ON THIS SHEET. THE WALL SHALL BE 4'8" HIGH AND 12" THICK. THE WALL SHALL BE SET BACK FROM THE PROPERTY LINE AS SHOWN ON THIS SHEET. THE WALL SHALL BE SET BACK FROM THE PROPERTY LINE AS SHOWN ON THIS SHEET.

CENTENNIAL LOSEE
 A MULTI-FAMILY DEVELOPMENT
 CITY OF NORTH LAS VEGAS

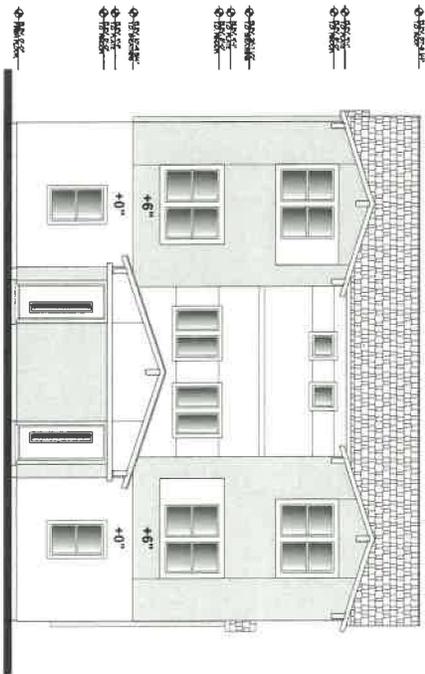
SITE PLAN
 (EAST PARCEL)

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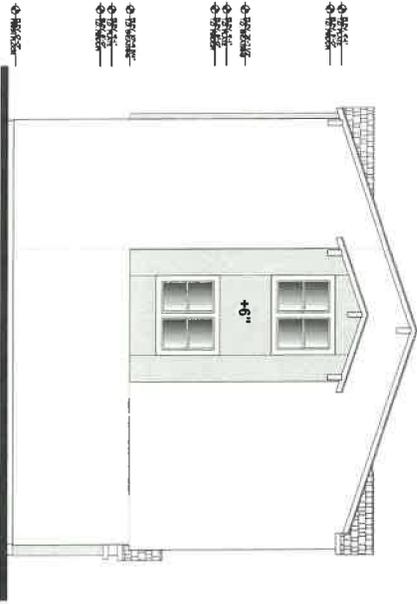
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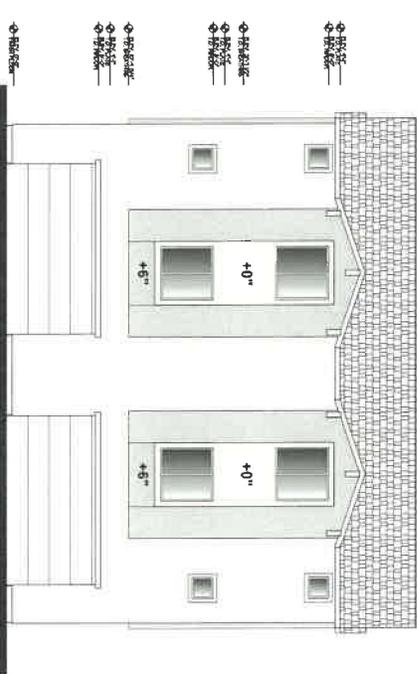
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FRONT



LEFT



REAR

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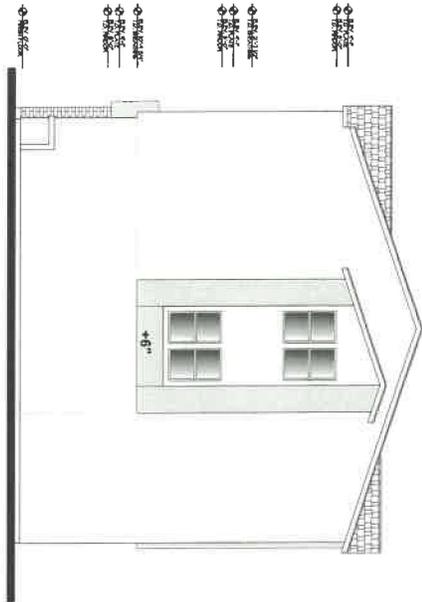
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3 STORY DUPLEX

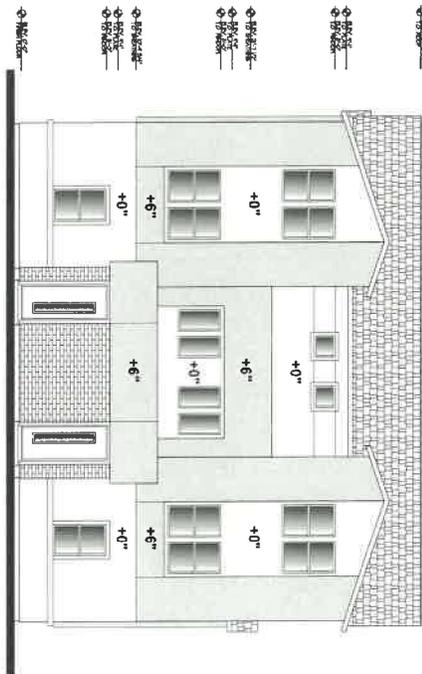


NOVEMBER 22, 2024

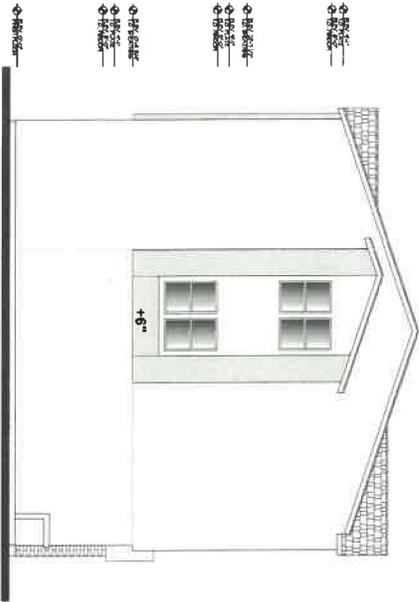




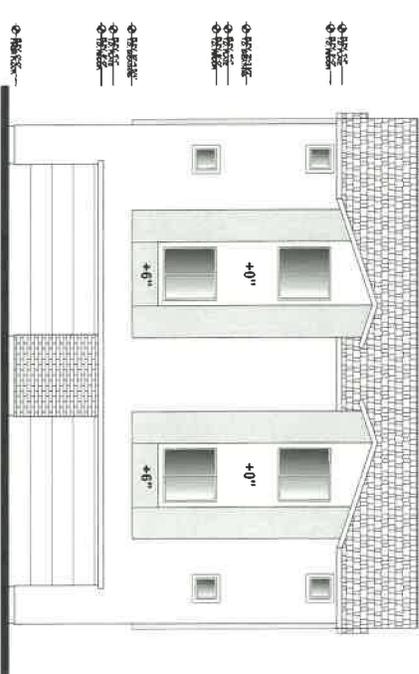
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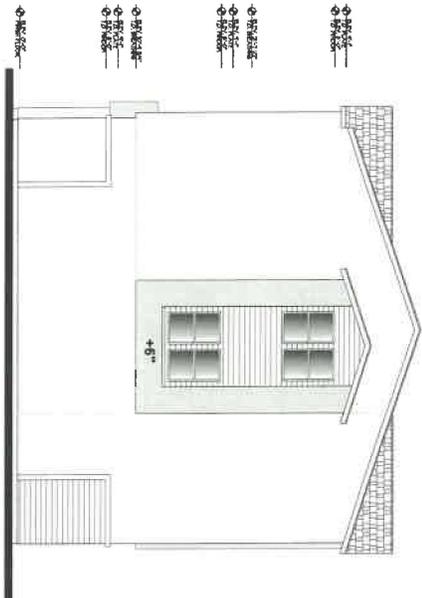
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3 STORY DUPLEX



NOVEMBER 22, 2024





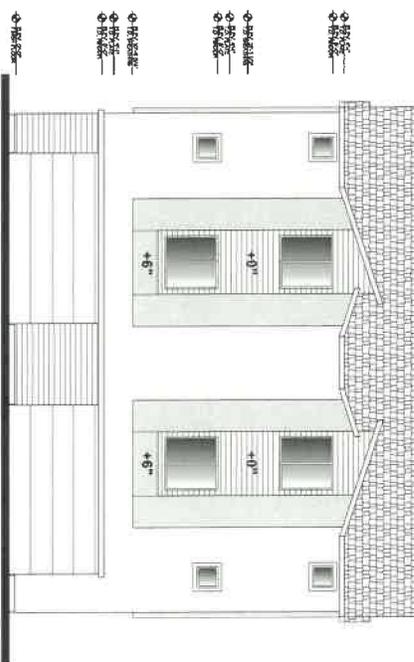
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ELEVATION 'C'
 3 STORY DUPLEX

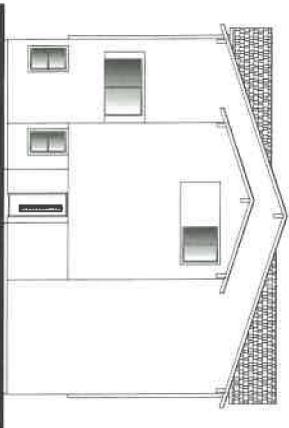


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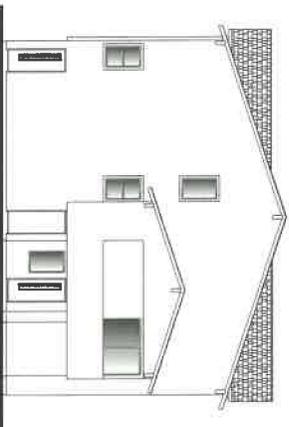
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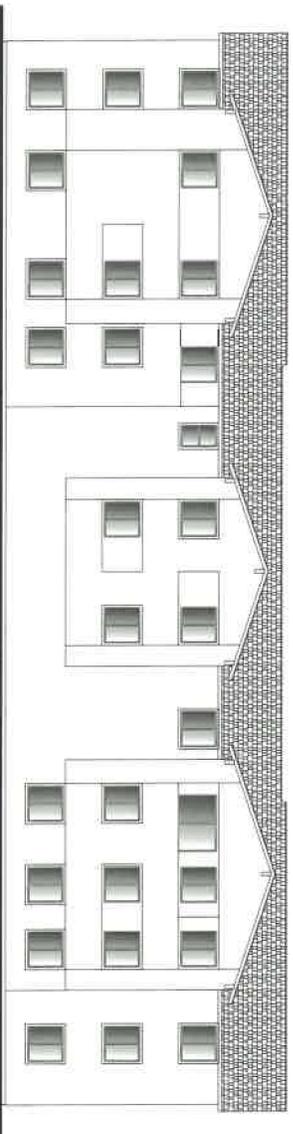
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

EXTERIOR ELEVATION 'A'

8-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

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SCALE: 3/16" = 1'-0"

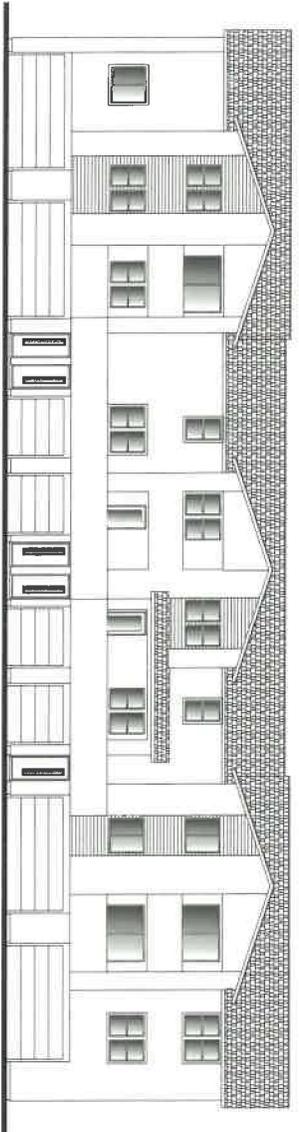
NOVEMBER 26, 2024

November 27, 2024

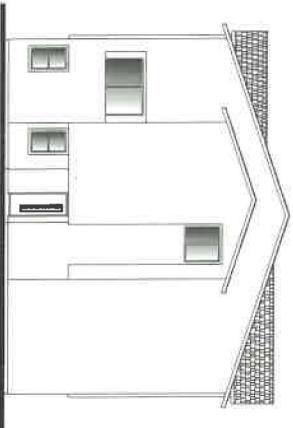


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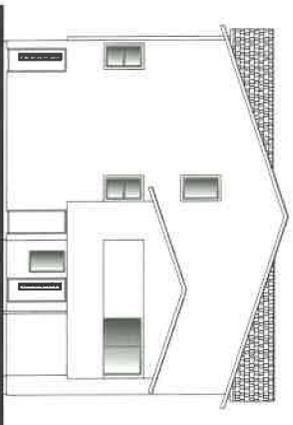




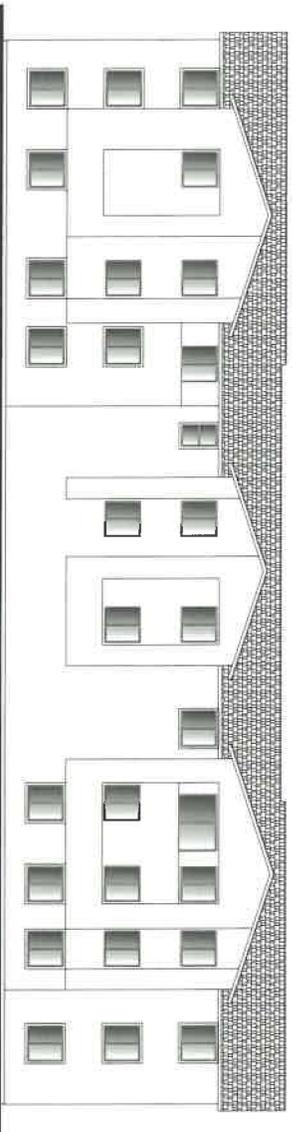
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

EXTERIOR ELEVATION 'B'

8-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

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NOVEMBER 26, 2024

November 22, 2024

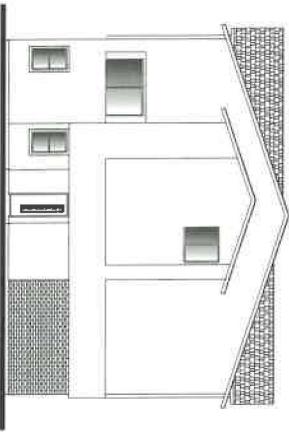


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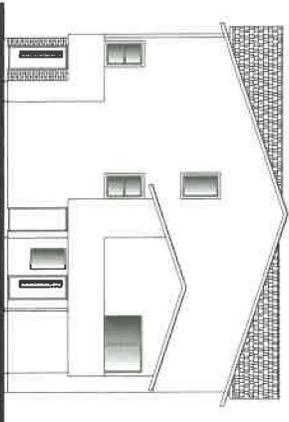




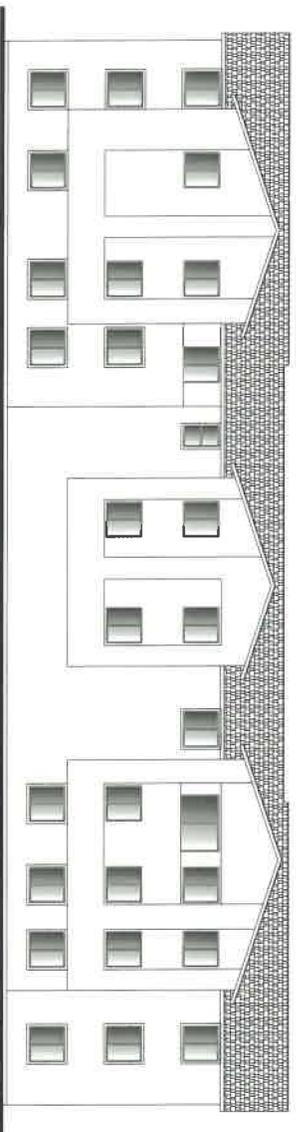
FRONT ELEVATION



LEFT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

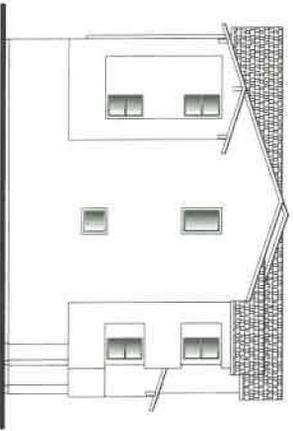
EXTERIOR ELEVATION 'C'

8-PLEX

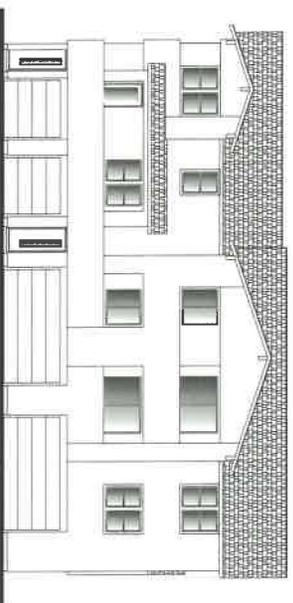
3-STORY CONDOMINIUMS

HENDERSON, NEVADA

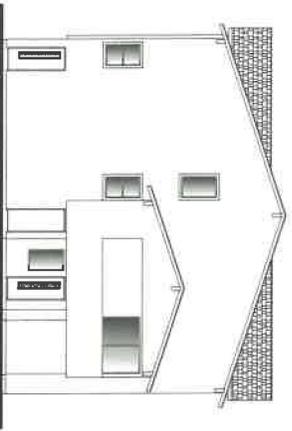




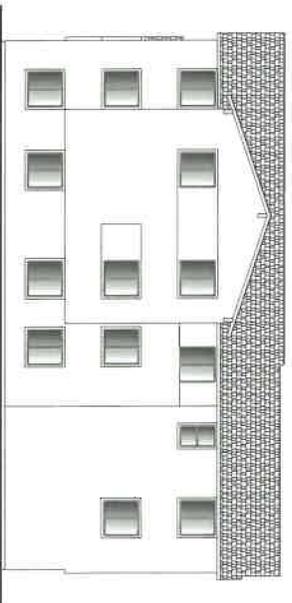
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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EXTERIOR ELEVATION 'A'

4-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

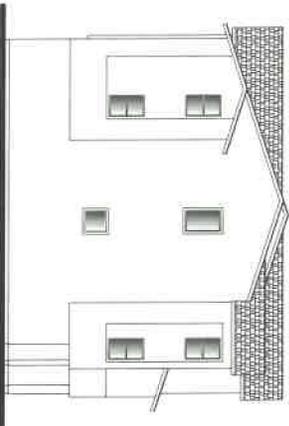
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NOVEMBER 26, 2024

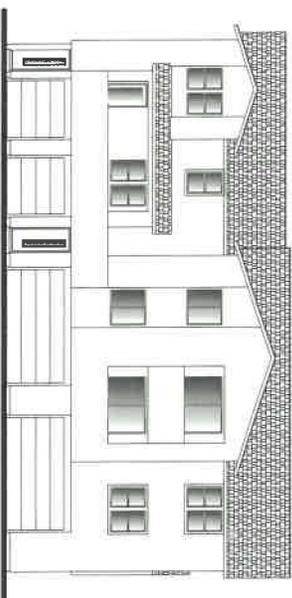
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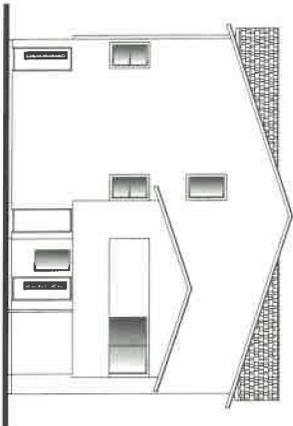
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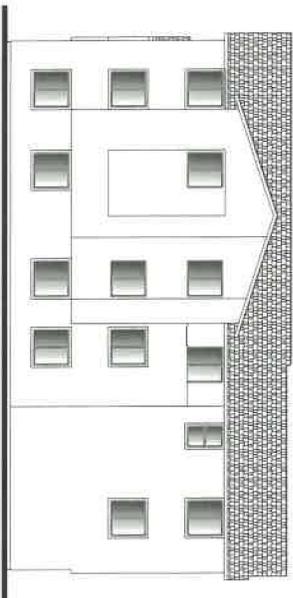
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



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EXTERIOR ELEVATION 'B'

SCALE: 3/16" = 1'-0" NOVEMBER 26, 2024

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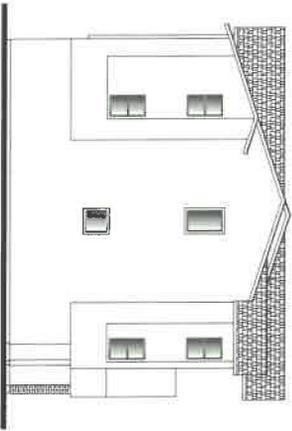
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4-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

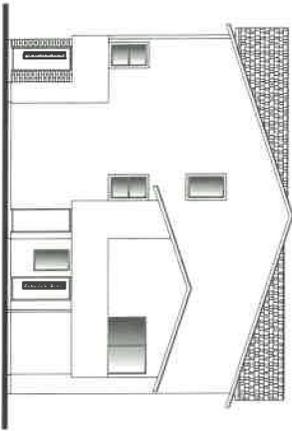




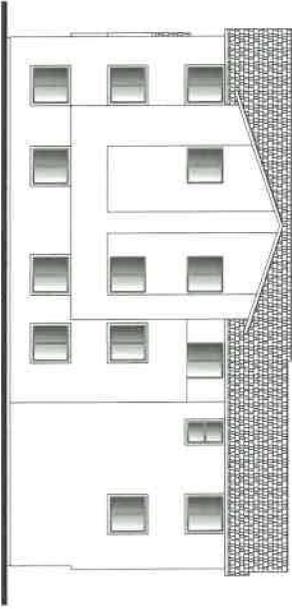
LEFT ELEVATION



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION

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EXTERIOR ELEVATION 'C'

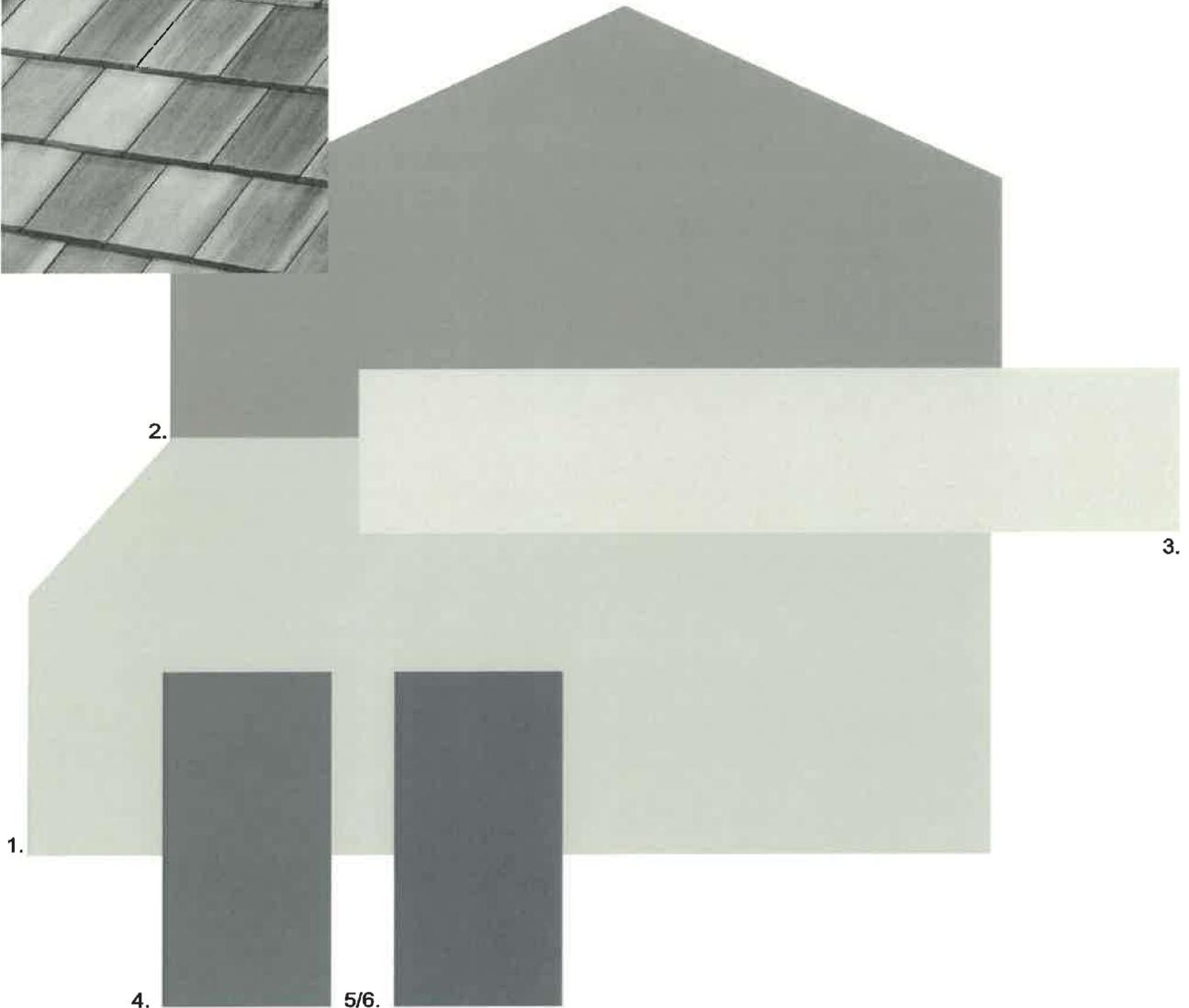
SCALE: 3/16" = 1'-0"

NOVEMBER 26, 2024

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4-**P**LEX
3-**S**TORY CONDOMINIUMS
HENDERSON, NEVADA



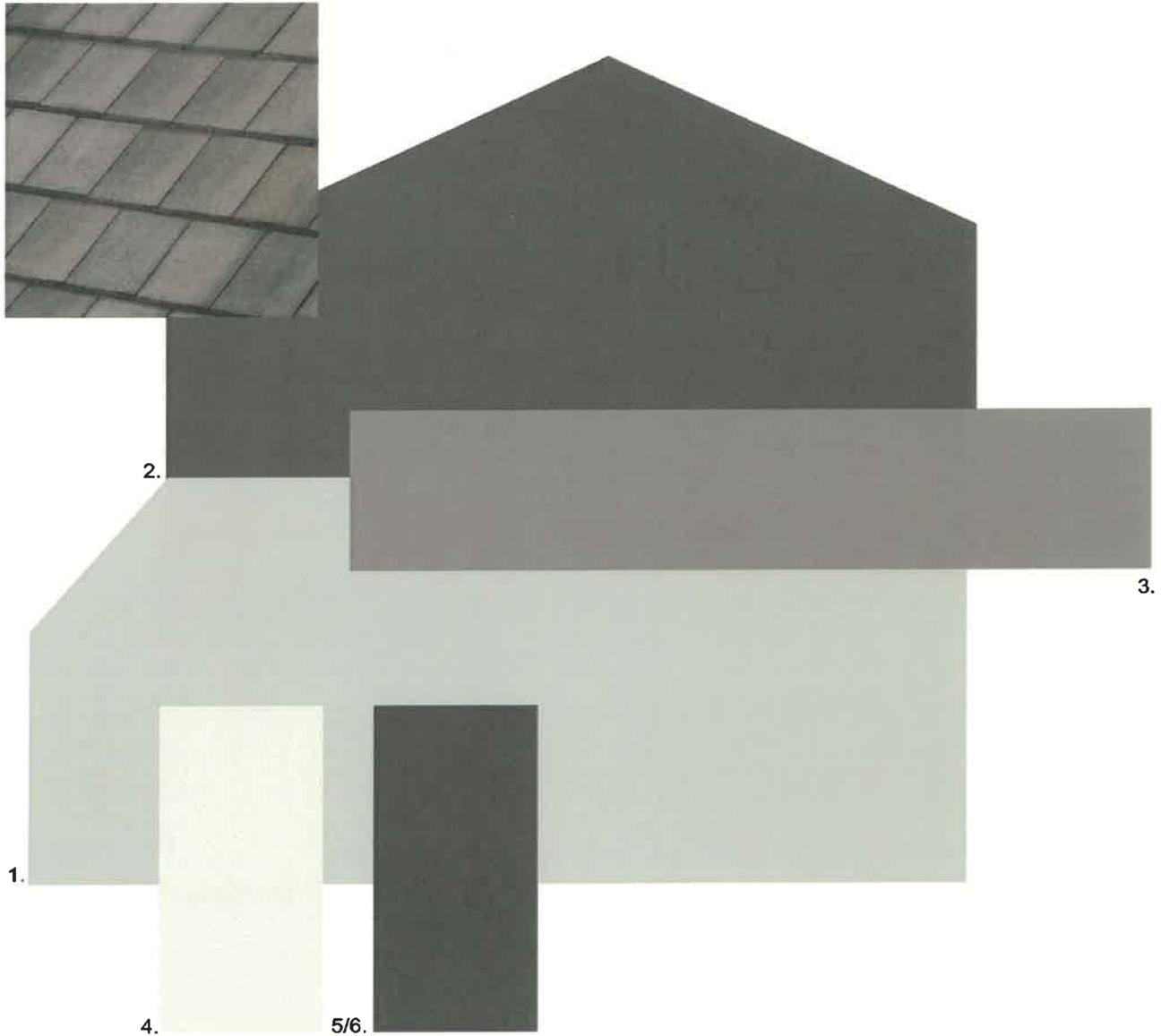


**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	Agreeable Gray	SW 7029
2. Stucco Body 2	Gauntlet Gray	SW 7019
3. Stucco Body 3	Cityloft	SW 7631
4. Accent / Trim / Fascia	Grays Harbor	SW 6236
5. Entry Door	Mineral Gray	SW 2740
6. Garage Door	Mineral Gray	SW 2740
Roof Tile (Boral)	1FACS5354 Saxony 900 Slate	Stone Mountain Blend

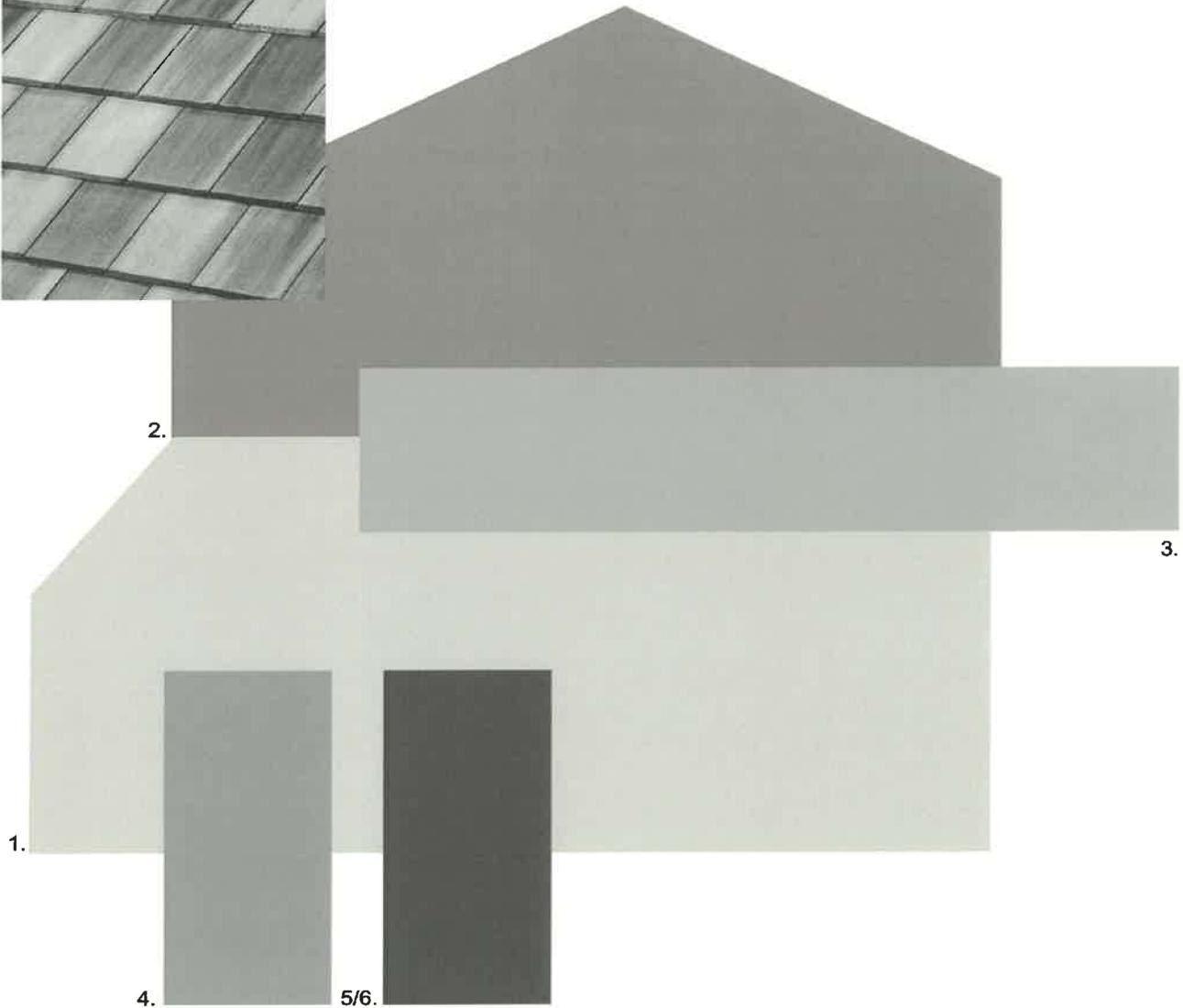


**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	Worldy Gray	SW 7043
2. Stucco Body 2	Black Fox	SW 7020
3. Stucco Body 3	Backdrop	SW 7025
4. Accent / Trim / Fascia	Ivory Lace	SW 7013
5. Entry Door	Darkroom	SW 7083
6. Garage Door	Darkroom	SW 7083
Roof Tile (Boral)	1FAC1132 Saxony 900 Slate	
	Charcoal Brown Blend	

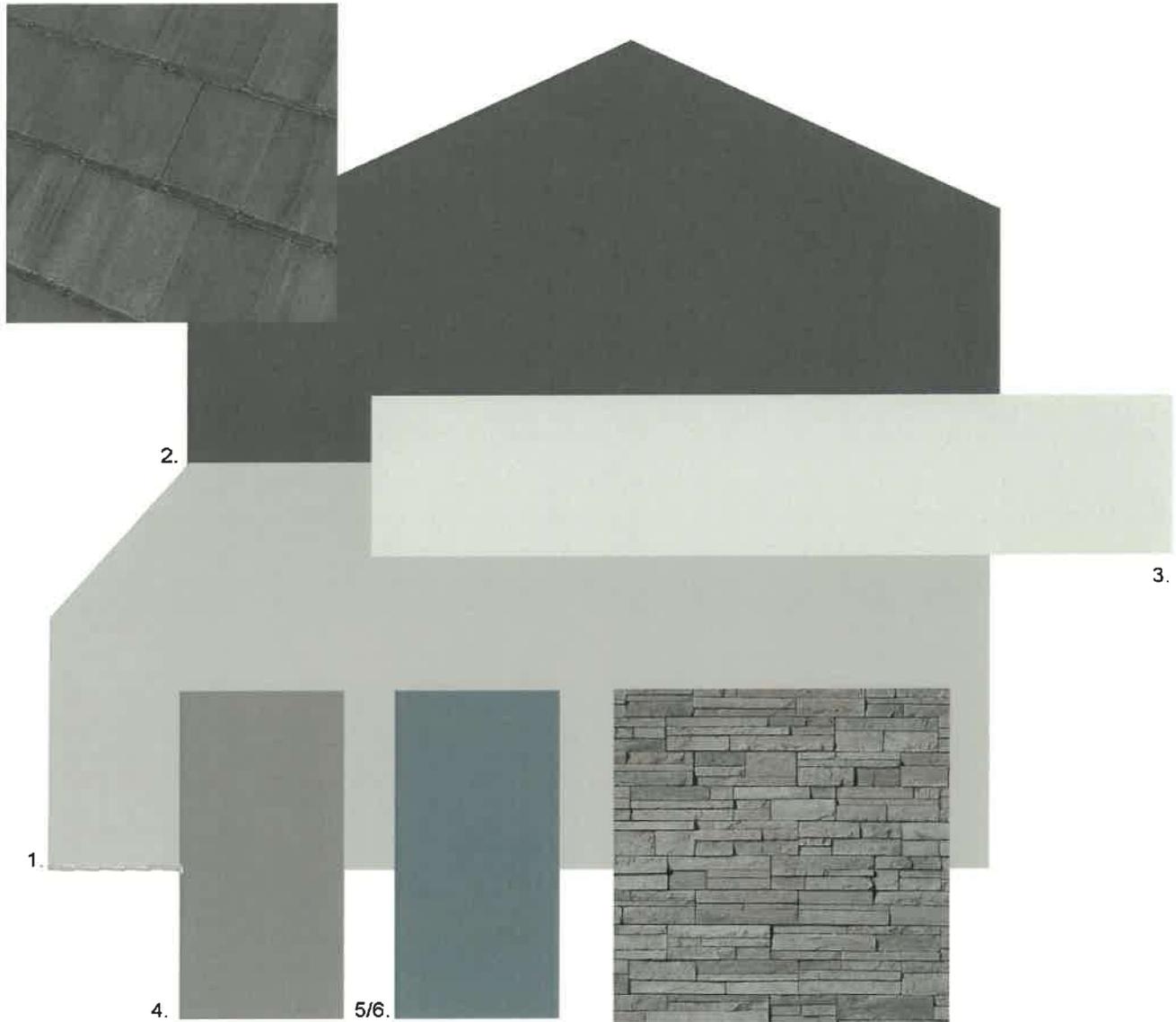


**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	Modern Gray	SW 7632
2. Stucco Body 2	Spalding Gray	SW 6074
3. Stucco Body 3	Proper Gray	SW 6003
4. Accent / Trim / Fascia	Gray Shingle	SW 7670
5. Entry Door	Sealskin	SW 7675
6. Garage Door	Sealskin	SW 7675
Roof Tile (Boral)	1FACS5354 Saxony 900 Slate	
	Stone Mountain Blend	

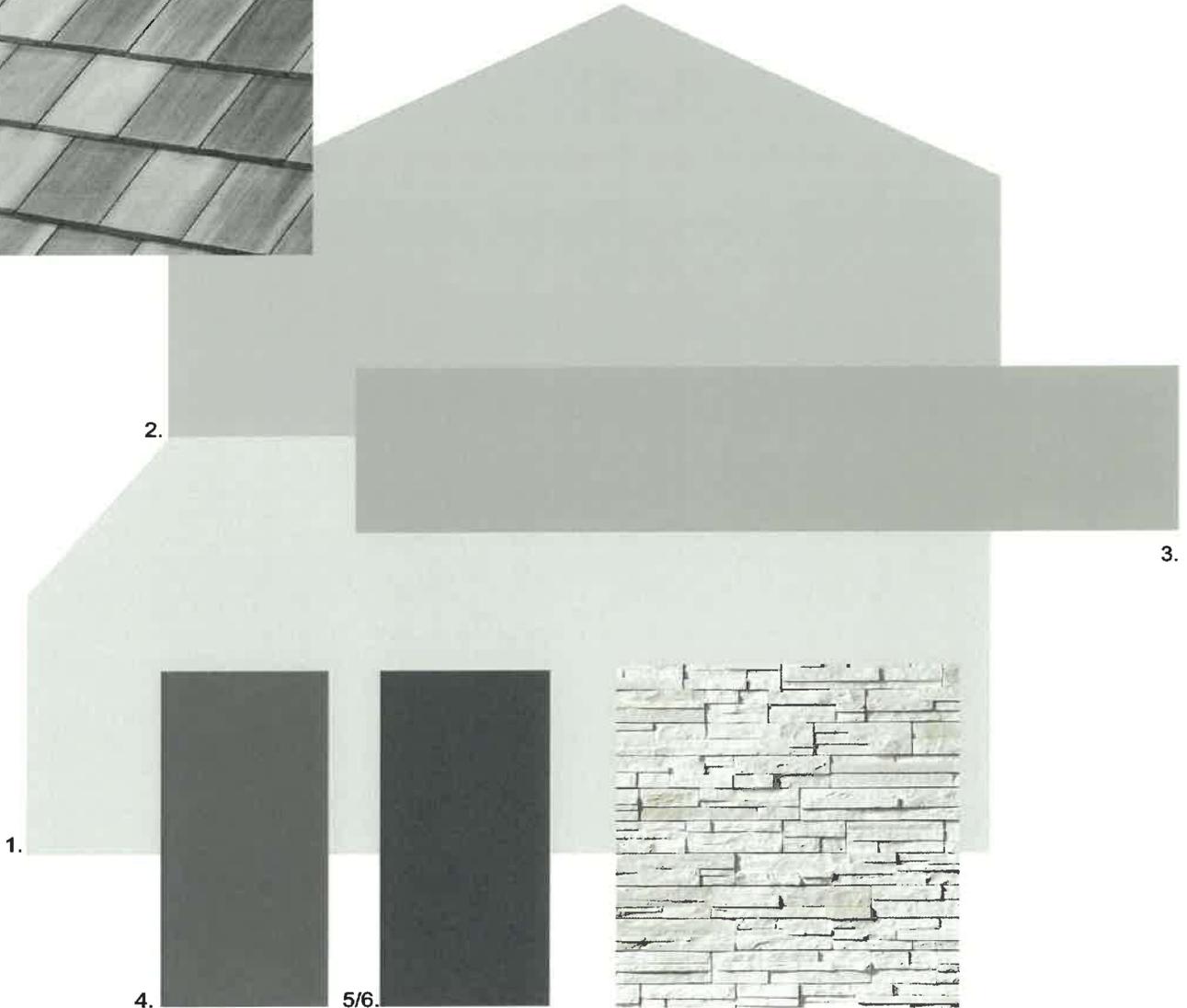


**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	Mindful Gray	SW 7016
2. Stucco Body 2	Iron Ore	SW 7069
3. Stucco Body 3	Drift of Mist	SW 9166
4. Accent / Trim / Fascia	Anonymous	SW 7046
5. Entry Door	Waterloo	SW 9141
6. Garage Door	Waterloo	SW 9141
Roof Tile (Boral)	1FACS1430 Saxony 900 Slate	
	Charcoal Blend	



**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	Frosty White	SW 6196
2. Stucco Body 2	Argos	SW 7065
3. Stucco Body 3	Rare Gray	SW 6199
4. Accent / Trim / Fascia	Peppercorn	SW 7674
5. Entry Door	Rookwood Shutter Green	SW 2809
6. Garage Door	Rookwood Shutter Green	SW 2809
Roof Tile (Boral)	1FACS5354 Saxony 900 Slate	
	Stone Mountain Blend	

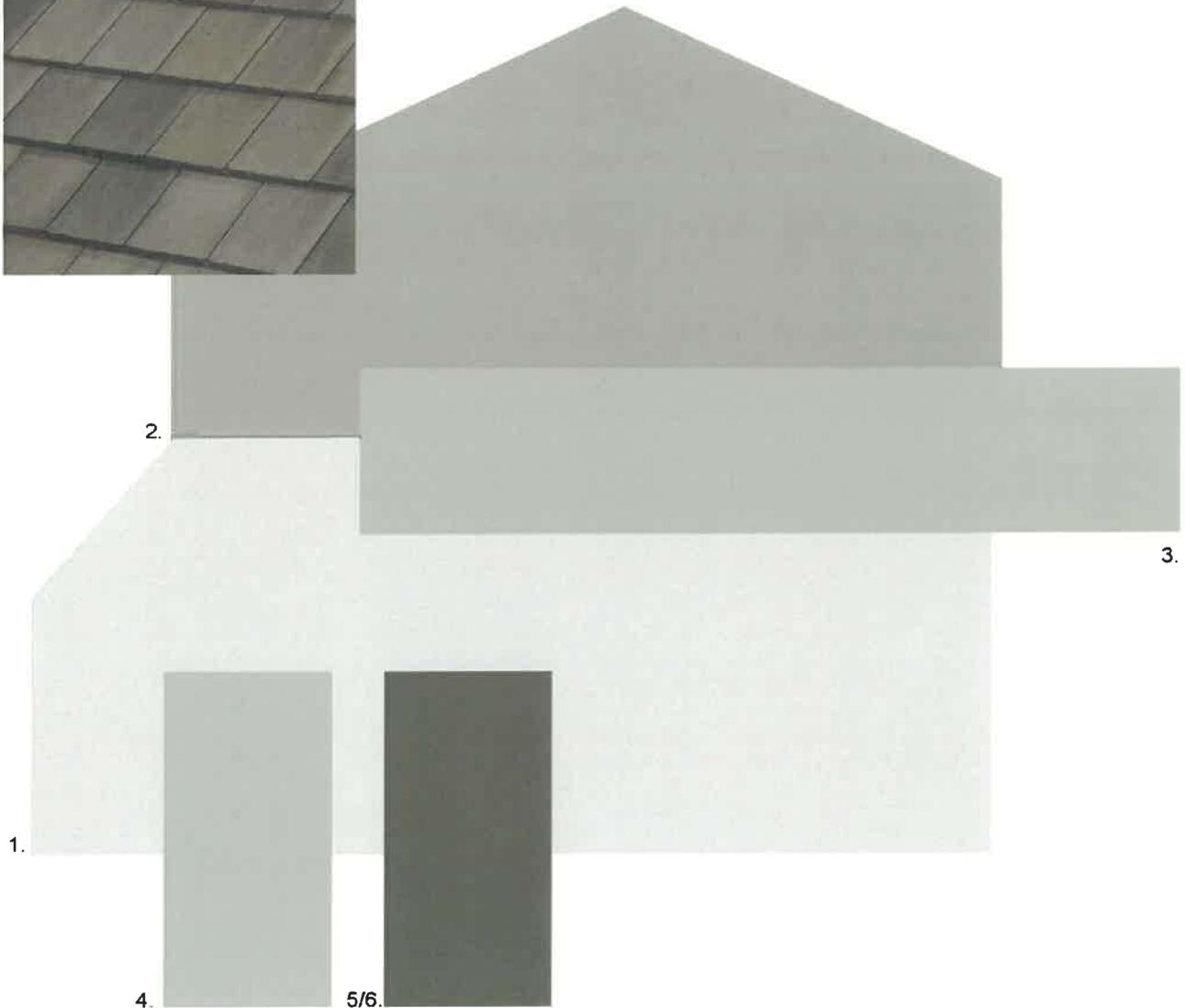


**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	City Loft	SW 7631
2. Stucco Body 2	Shade Grown	SW 6188
3. Stucco Body 3	Morris Room Grey	SW 0037
4. Accent / Trim / Fascia	Fawn Brindle	SW 7640
5. Entry Door	Cityscape	SW 7067
6. Garage Door	Cityscape	SW 7067
Roof Tile (Boral)	1FACS1132 Saxony 900 Slate	
	Charcoal Brown Blend	

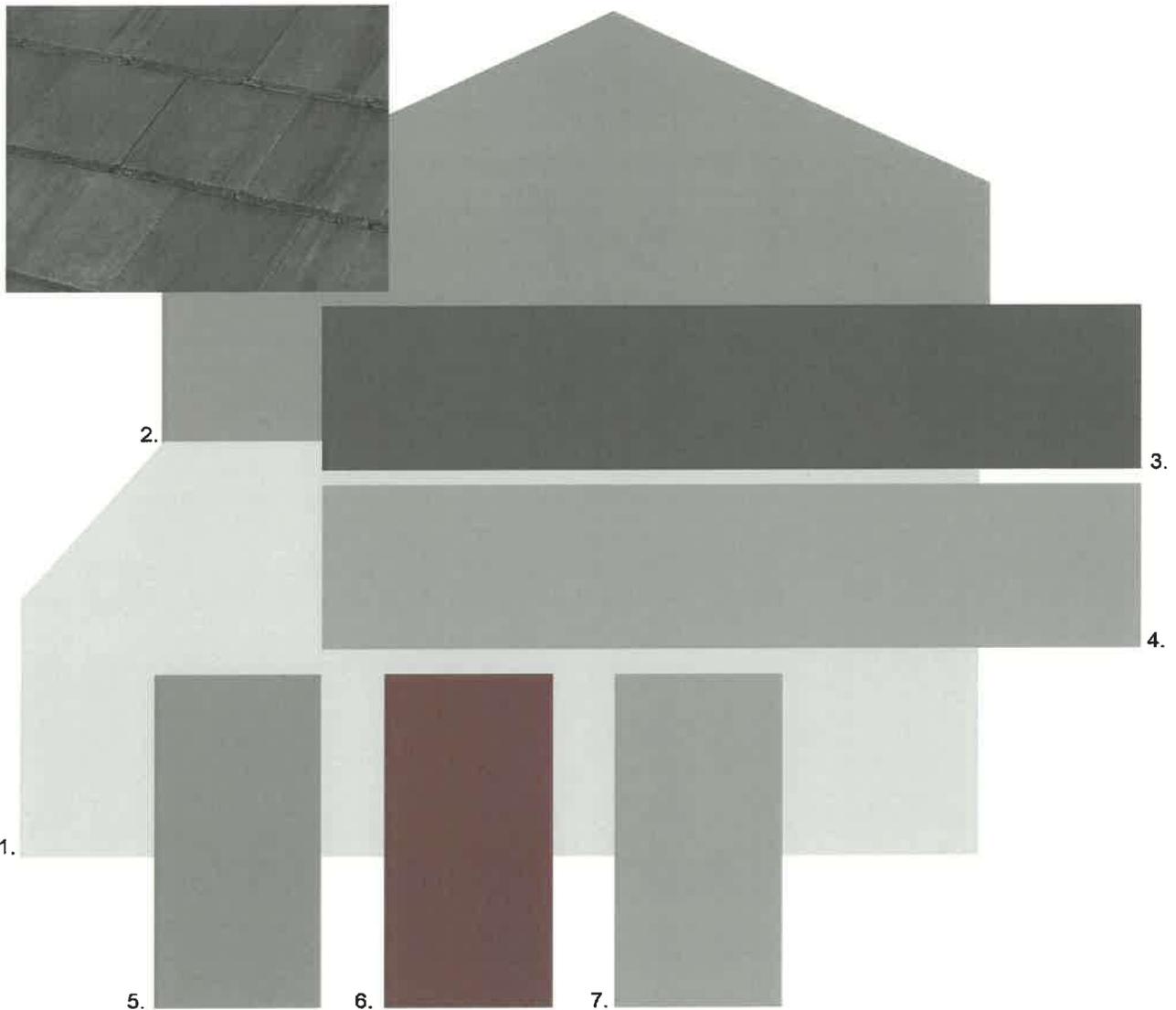


**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

Lennar

1. Stucco Body 1	Aesthetic White	SW 7035
2. Stucco Body 2	Anonymous	SW 7046
3. Stucco Body 3	Requisite Gray	SW 7023
4. Accent / Trim / Fascia	Chelsea Gray	SW 2850
5. Entry Door	Garden Gate	SW 6167
6. Garage Door	Garden Gate	SW 6167
Roof Tile (Boral)	1FACS1132 Saxony 900 Slate	
	Charcoal Brown Blend	



**SHERWIN
WILLIAMS.**

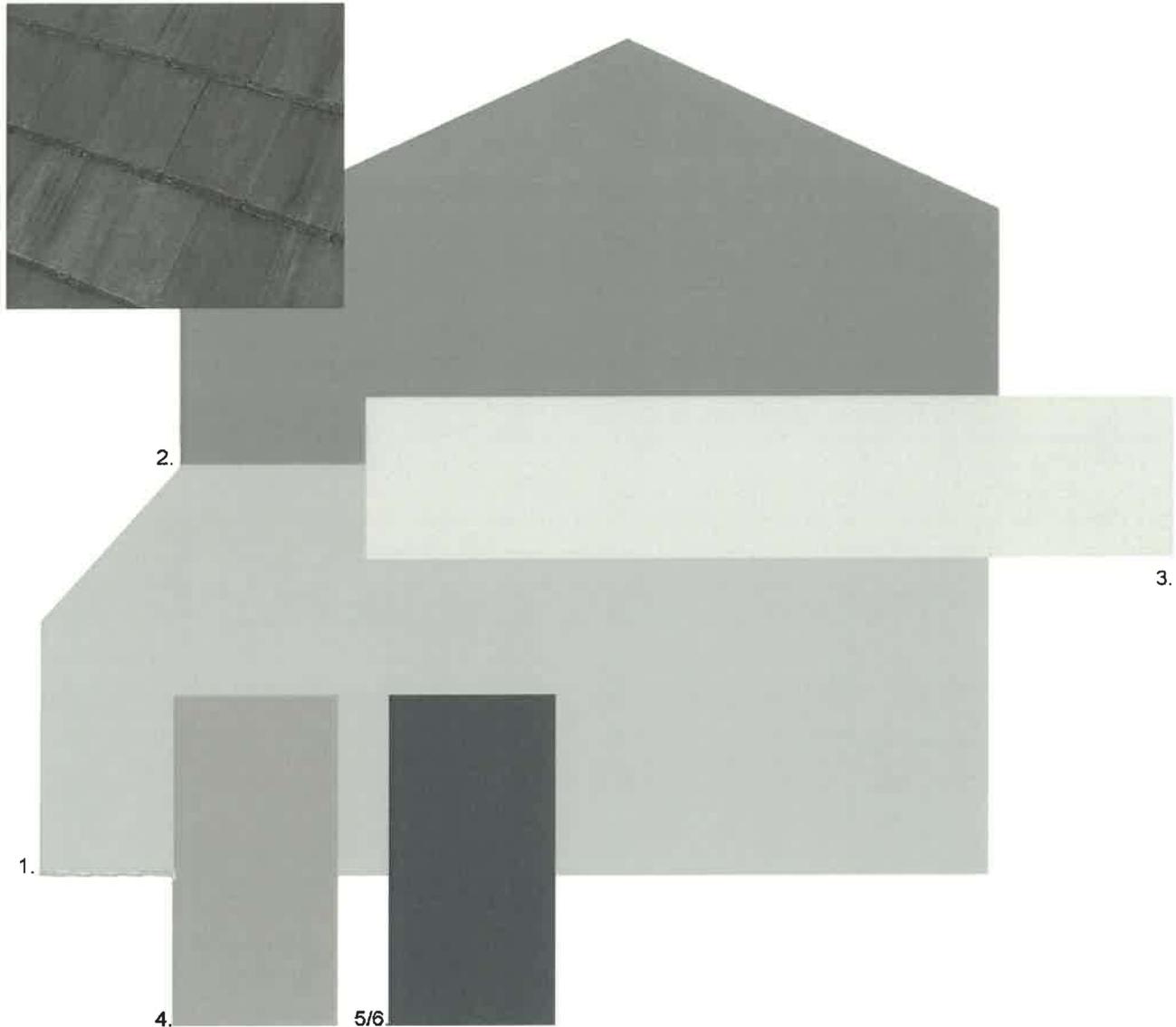
Color samples shown approximate actual paint colors as closely as possible.

- 1. Stucco Body 1
- 2. Stucco Body 2
- 3. Stucco Body 3
- 4. Trim / Fascia
- 5. Garage Door
- 6. Front Door
- Roof Tile (Boral)

Lennar

Crushed Ice	SW 7647
Dove Tail	SW 7018
Urban Bronze	SW 7048
Tin Lizzie	SW 9163
Dove Tail	SW 7018
Red Theatre	SW 7584

1FACS1430 Saxony 900 Slate
Charcoal Blend



**SHERWIN
WILLIAMS.**

Color samples shown approximate actual paint colors as closely as possible.

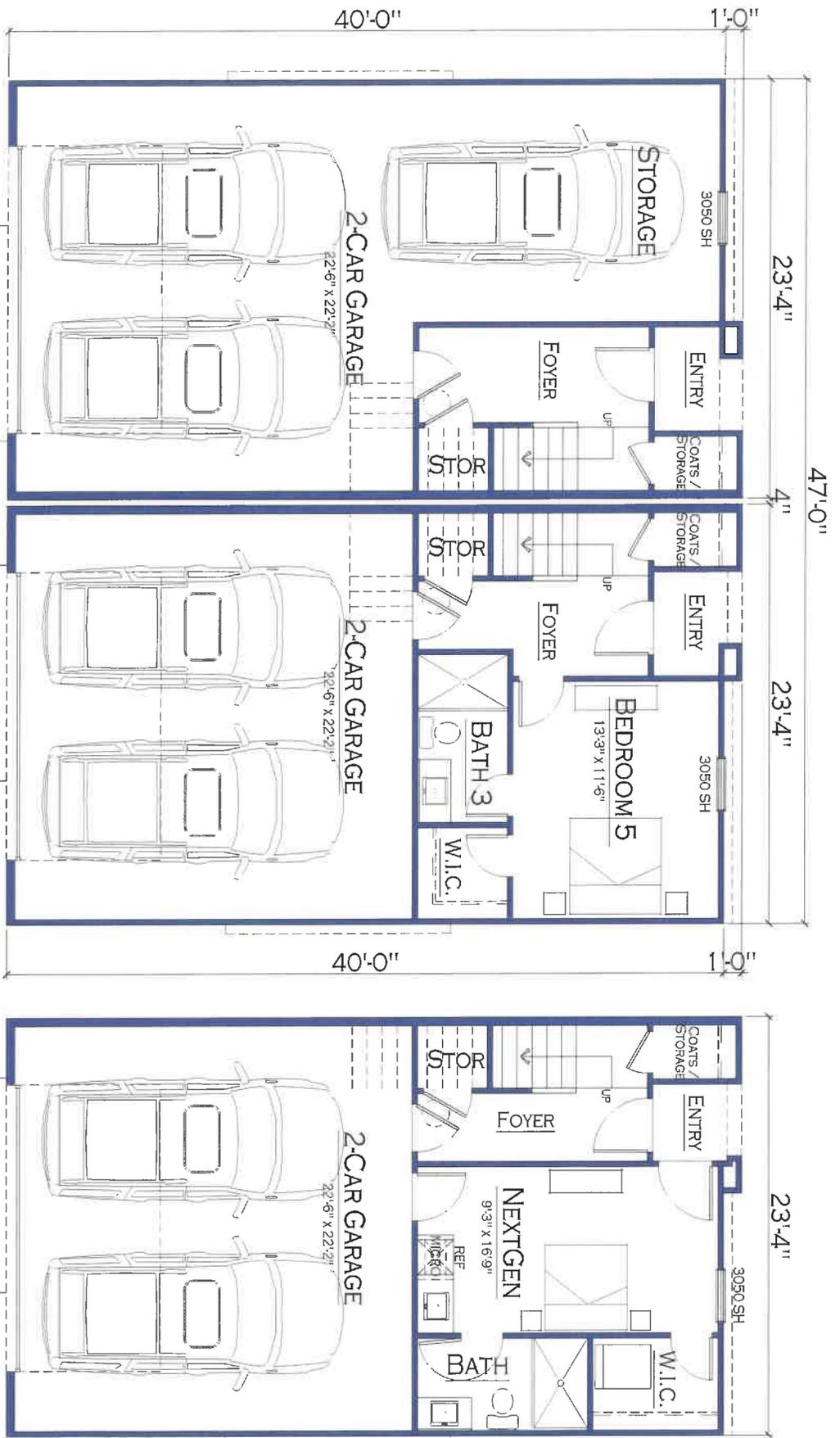
Lennar

1. Stucco Body 1	Argos	SW 7065
2. Stucco Body 2	Cityscape	SW 7067
3. Stucco Body 3	Cityloft	SW 7631
4. Accent / Trim / Fascia	Pavestone	SW 7642
5. Entry Door	Mount Etna	SW 7625
6. Garage Door	Mount Etna	SW 7625
Roof Tile (Boral)	1FACS1430 Saxony 900 Slate	
	Charcoal Blend	

Centennial And Losee - EXTERIOR COLOR CHART

	A			B			C		
	1L	2D	3M	4D	5L	6M	7L	8M	9D
SCHEMES	1L	2D	3M	4D	5L	6M	7L	8M	9D
ROOF	Saxony 900 Slate 1FACS5354 Stone Mountain Blend	Saxony 900 Slate 1FACS1132 Charcoal Brown Blend	Saxony 900 Slate 1FACS5354 Stone Mountain Blend	Saxony 900 Slate 1FACS1430 Charcoal Blend	Saxony 900 Slate 1FACS5354 Stone Mountain Blend	Saxony 900 Slate 1FACS1132 Charcoal Brown Blend	Saxony 900 Slate 1FACS1132 Charcoal Brown Blend	Saxony 900 Slate 1FACS1430 Charcoal Blend	Saxony 900 Slate 1FACS1430 Charcoal Blend
STUCCO BODY COLOR 1	Agreeable Gray SW7029	Wordly Gray SW7043	Modern Gray SW7632	Mindful Gray SW7016	Frosty White SW6196	City Loft SW7631	Aesthetic White SW7035	Crushed Ice SW7647	Argos SW7065
SECONDARY STUCCO BODY COLOR 2 / SIDING	Gauntlet Gray SW7019	Black Fox SW7020	Spalking Gray SW6074	Iron Ore SW7069	Argos SW7065	Shade Grown SW6188	Anonymous SW7046	Dovetail SW7018	Cityscape SW7067
STUCCO BODY COLOR 3 (AS NEEDED)	City Loft SW7631	Backdrop SW7025	Proper Gray SW6003	Drift of Mist SW9166	Rare Gray SW6199	Morris Room Gray SW0037	Requisite Gray SW7023	Urban Bronze SW7048	City Loft SW7631
FASCIA / EYEBROWS / TRIM	Grays Harbor SW6236	Ivory Lace SW7013	Gray Shingle SW7670	Anonymous SW7046	Peppercorn SW7674	Fawn Bifindle SW7640	Chelsea Gray SW2850	Tin Lizzie SW9163	Pavestone SW7642
FRONT DOOR	Mineral Gray SW2740	Darkroom SW7083	Sealskin SW7675	Waterloo SW9141	Rookwood Shutter Green SW2809	Cityscape SW7067	Garden Gate SW6167	Red Theatre SW7584	Mount Etna SW7625
GARAGE DOORS	Mineral Gray SW2740	Darkroom SW7083	Sealskin SW7675	Waterloo SW9141	Rookwood Shutter Green SW2809	Cityscape SW7067	Garden Gate SW6167	Dovetail SW7018	Mount Etna SW7625
STONE (AS NEEDED)				Cultured Stone Pro-Fit LedgeStone Shale	Cultured Stone Pro-Fit LedgeStone Winterhaven	Cultured Stone Pro-Fit LedgeStone Chardonnay			
IRON RAILINGS/GATES	Powder Coat Black	Powder Coat Black	Powder Coat Black	Powder Coat Black	Powder Coat Black	Powder Coat Black	Powder Coat Black	Powder Coat Black	Powder Coat Black

Westlake Roofing & Stone
Sherwin Williams Paint
 Overhead Soffit to be same as header or pop-out
 Decorative Foam Corbel to match Trim
 Window Projection Inside of frame (Window Stucco inset) to match Stucco Body 1 - as needed



UNIT 1
 4 BEDROOM
 (1,879 SQ. FT.)

UNIT 2
 5 BEDROOM
 (2,114 SQ. FT.)

UNIT 3
 4 BEDROOM / NEXTGEN
 (2,120 SQ. FT.)

FIRST FLOOR

3 STORY DUPLEX

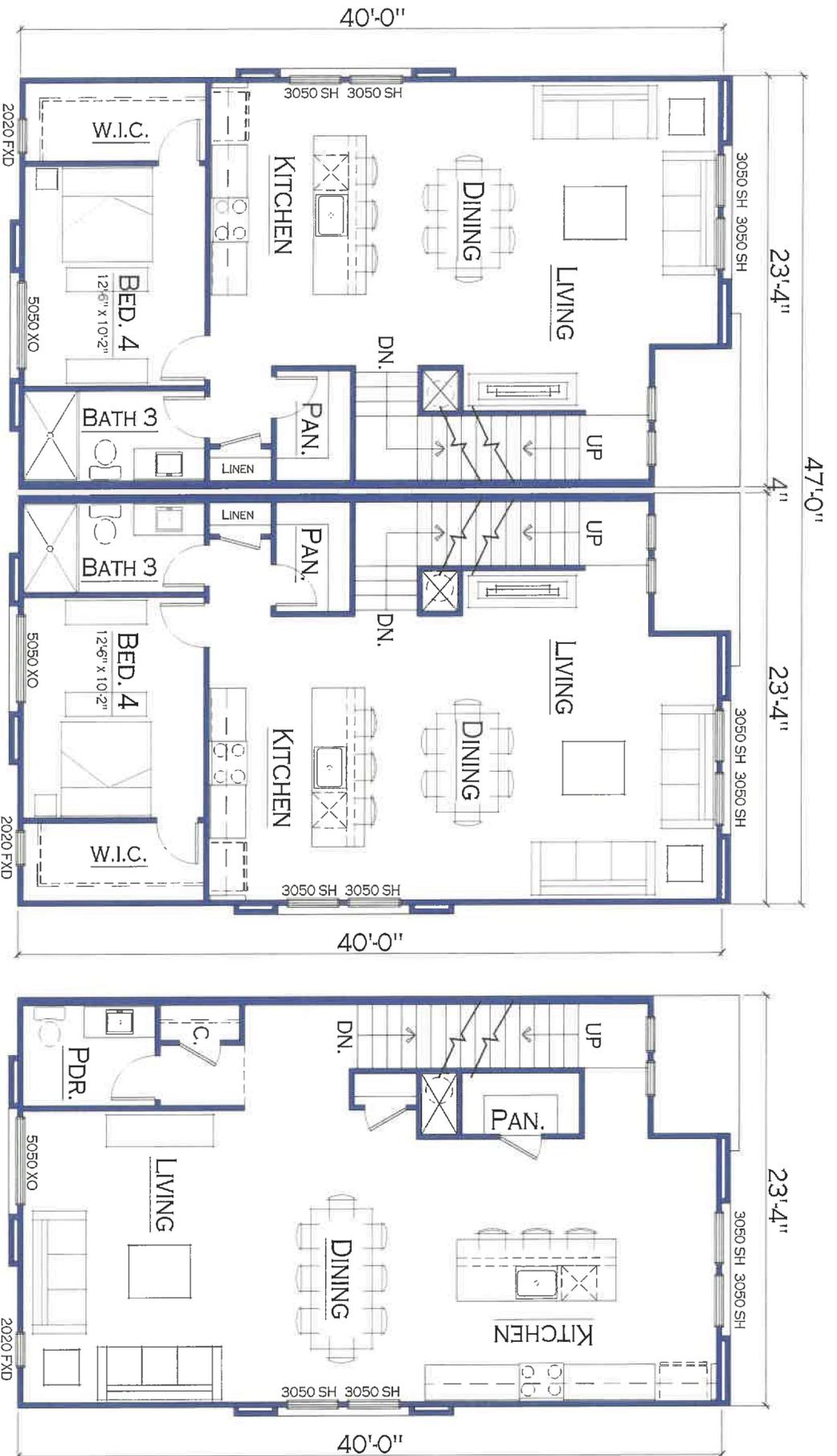
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NOVEMBER 22, 2024

Perlman
 ARCHITECT



UNIT 1

UNIT 2

UNIT 3

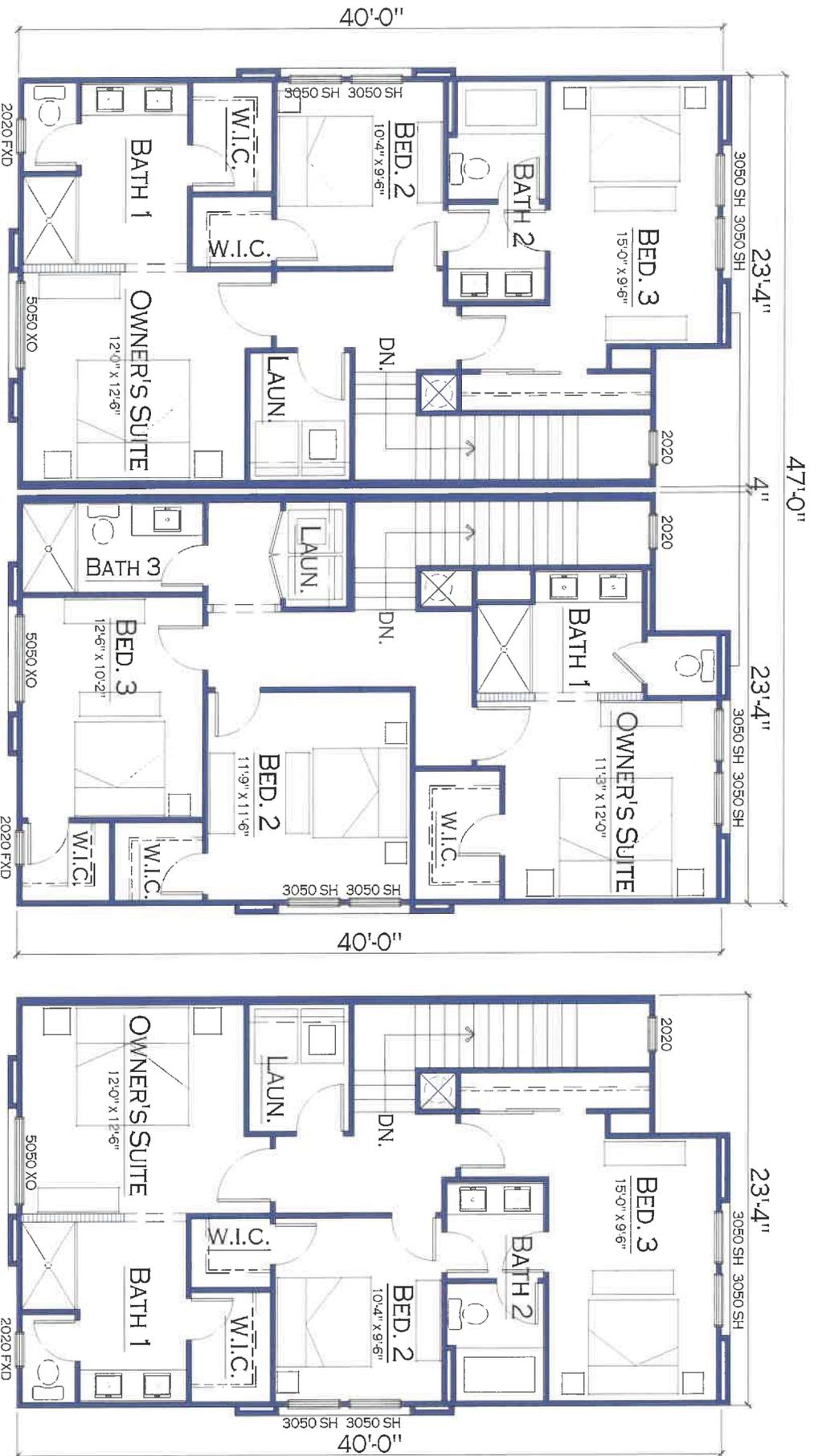
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SECOND FLOOR
 3 STORY DUPLEX

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SCALE: 3/8" = 1'-0" NOVEMBER 22, 2024





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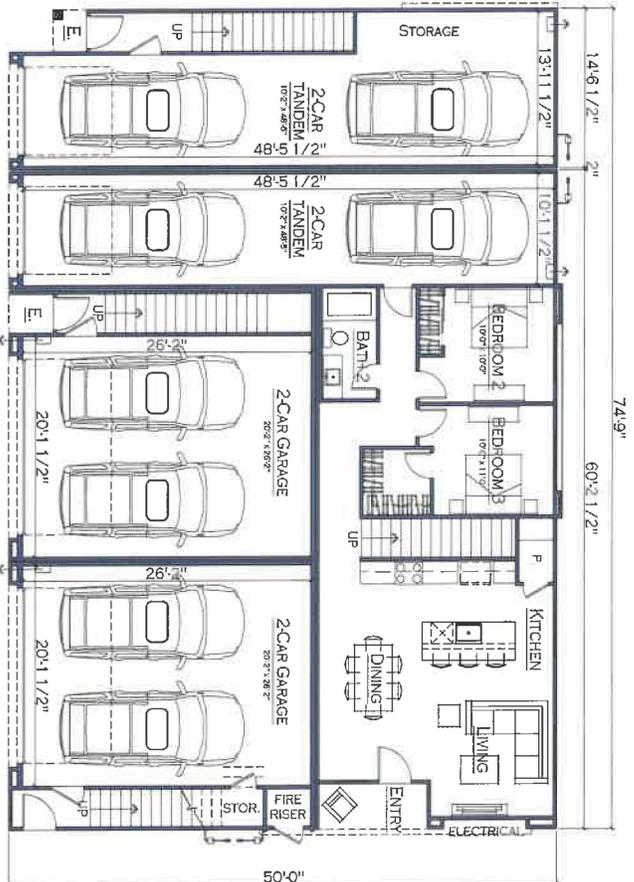
SCALE: 3/8" = 1'-0" NOVEMBER 22, 2024

LENNAR
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THIRD FLOOR
 3 STORY DUPLEX

Perlman
 ARCHITECTS





UNIT 4 (R)	UNIT 5	UNIT 6	UNIT 7
3 BEDRM 3 BATH	3 BEDRM 2 BATH	3 BEDRM 2.5 BATH LOFT	3 BEDRM 3 BATH LOFT
(1,882 SF)	(1,544 SF)	(2,027 SF)	(2,423 SF)

FIRST FLOOR

4-PLEX
3-STORY CONDOMINIUMS
HENDERSON, NEVADA

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SECOND FLOOR

4-PLEX

3-STORY CONDOMINIUMS

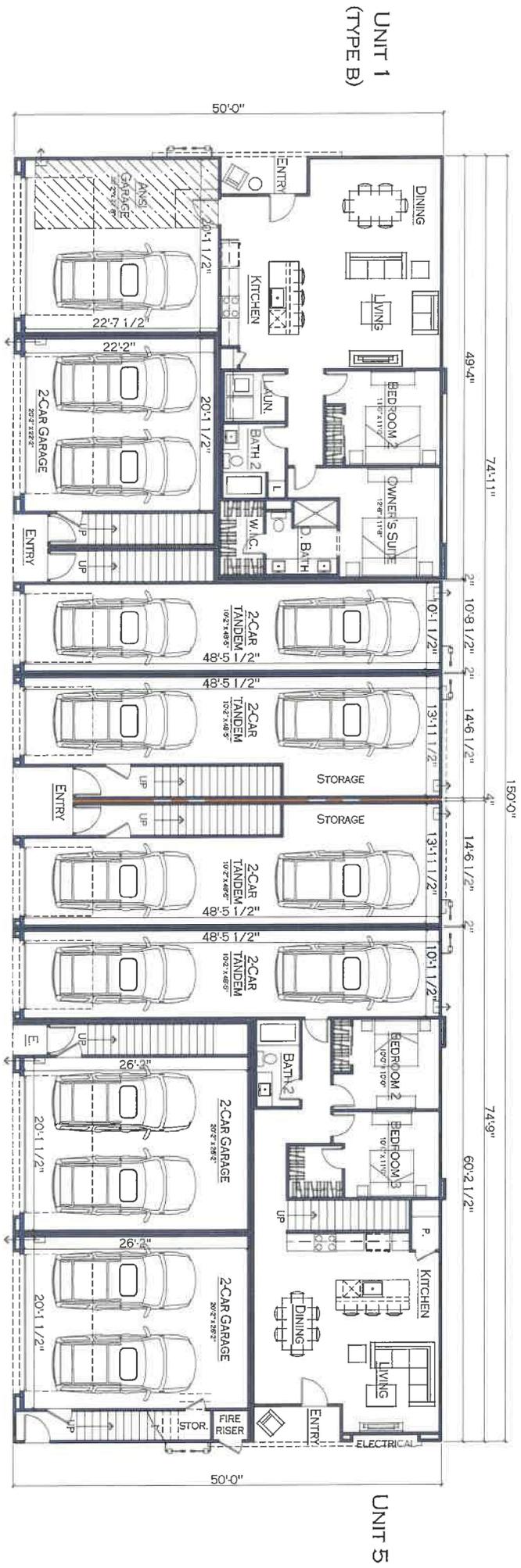
HENDERSON, NEVADA

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SCALE: 3/16" = 1'-0" NOVEMBER 26, 2024





UNIT 1 (TYPE B)	UNIT 2	UNIT 3	UNIT 4	UNIT 4 (R)	UNIT 5	UNIT 6	UNIT 7
2 BEDRM 2 BATH	3 BEDRM 3 BATH LOFT	3 BEDRM 2.5 BATH LOFT + OFFICE	3 BEDRM 3 BATH	3 BEDRM 3 BATH	3 BEDRM 2 BATH	3 BEDRM 2.5 BATH LOFT	3 BEDRM 3 BATH LOFT
(1,244 SF)	(2,385 SF)	(2,542 SF)	(1,882 SF)	(1,882 SF)	(1,544 SF)	(2,027 SF)	(2,423 SF)

FIRST FLOOR - TYPE B

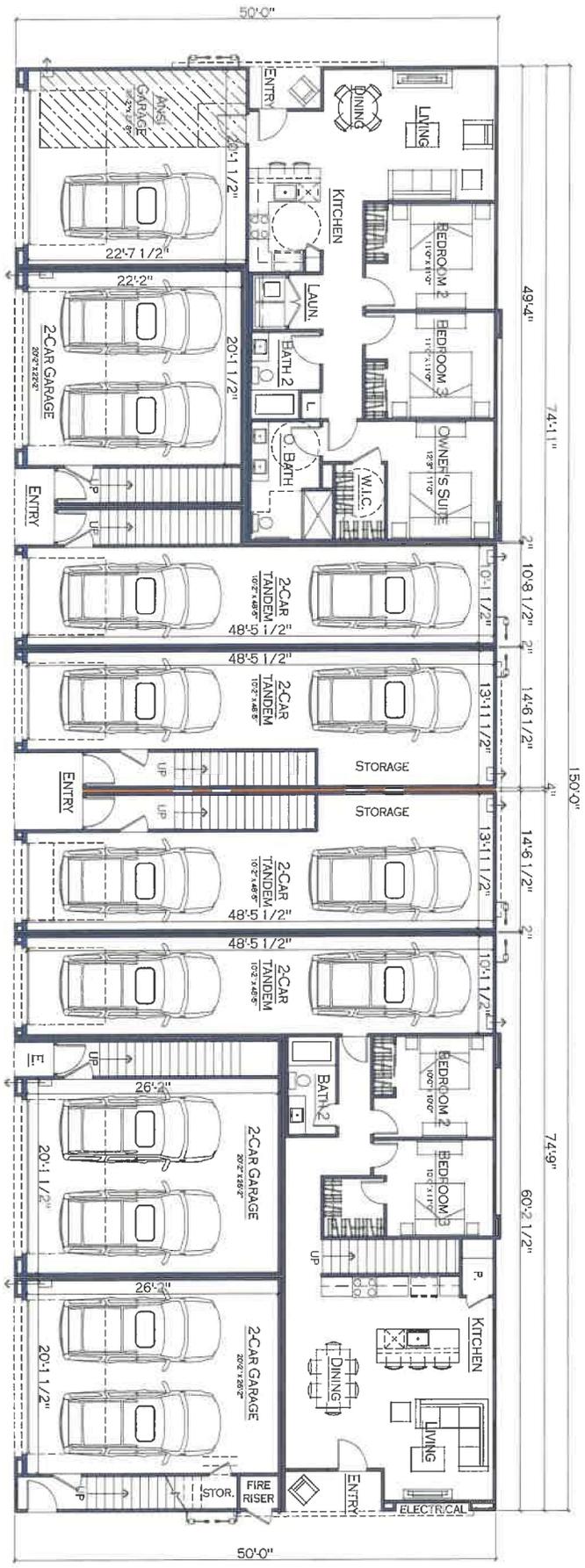
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8-PLEX
3-STORY CONDOMINIUMS
HENDERSON, NEVADA



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SCALE: 3/16" = 1'-0" NOVEMBER 26, 2024



UNIT 1 (TYPE A)	UNIT 2	UNIT 3	UNIT 4	UNIT 4 (R)	UNIT 5	UNIT 6	UNIT 7
3 BEDRM 2 BATH	3 BEDRM 3 BATH LOFT	3 BEDRM 2.5 BATH LOFT + OFFICE	3 BEDRM 3 BATH	3 BEDRM 3 BATH	3 BEDRM 2 BATH	3 BEDRM 2.5 BATH LOFT	3 BEDRM 3 BATH LOFT
(1,255 SF)	(2,385 SF)	(2,542 SF)	(1,882 SF)	(1,882 SF)	(1,544 SF)	(2,027 SF)	(2,423 SF)

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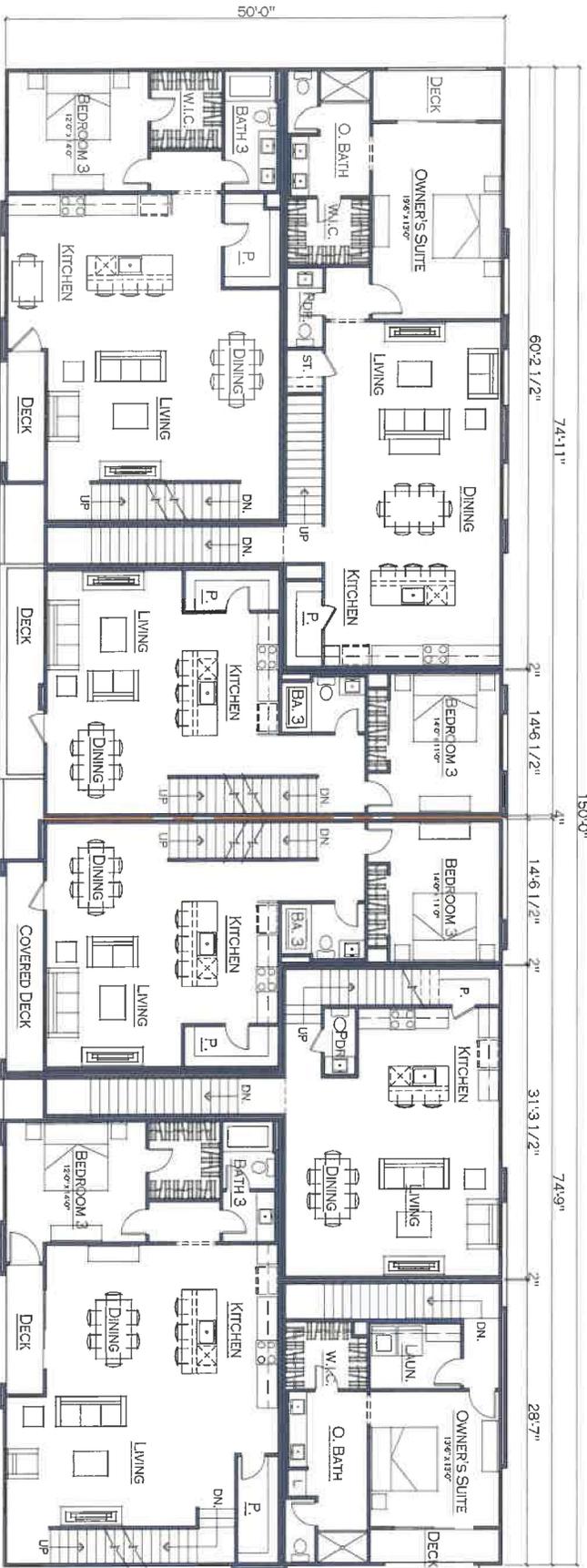
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FIRST FLOOR - TYPE A

8-PLEX
3-STORY CONDOMINIUMS
HENDERSON, NEVADA

SCALE: 3/16" = 1'-0" NOVEMBER 26, 2024





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SECOND FLOOR

**8-PLEX
3-STORY CONDOMINIUMS**
HENDERSON, NEVADA

SCALE: 3/16" = 1'-0" NOVEMBER 26, 2024





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THIRD FLOOR

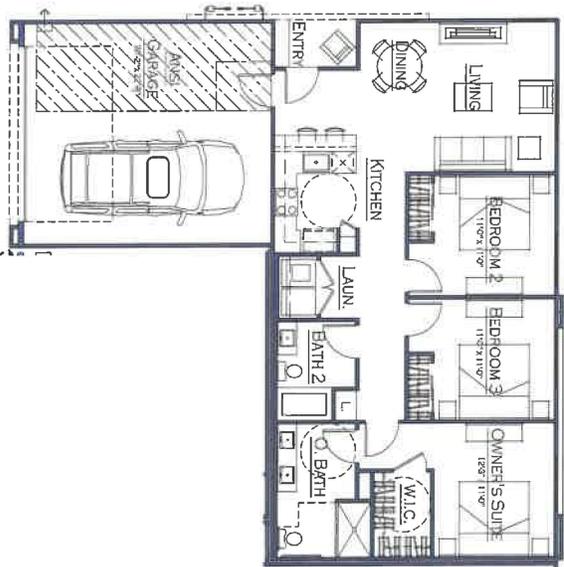
8-PLEX

3-STORY CONDOMINIUMS

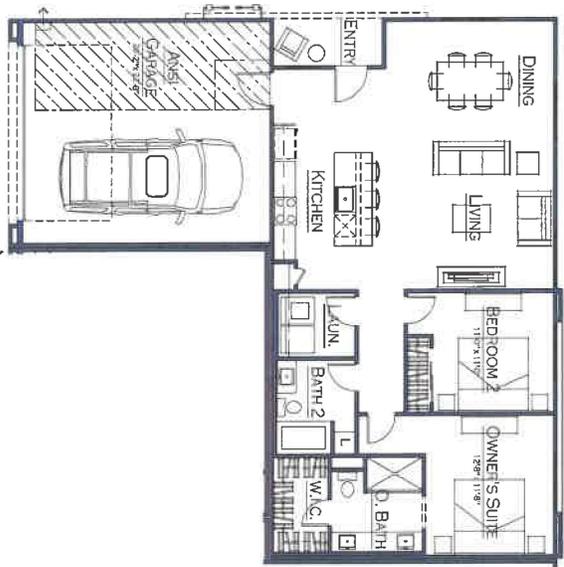
HENDERSON, NEVADA

SCALE 3/16"=1'-0" NOVEMBER 28, 2024





UNIT 1 (TYPE A)
3 BEDRM, 2 BATH
(1,255 SF)



UNIT 1 (TYPE B)
2 BEDRM, 2 BATH
(1,244 SF)

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UNIT PLANS

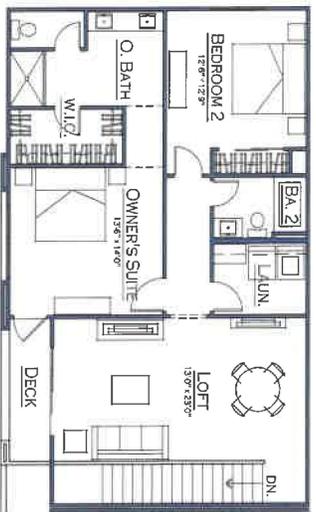
8-PLEX

3-STORY CONDOMINIUMS

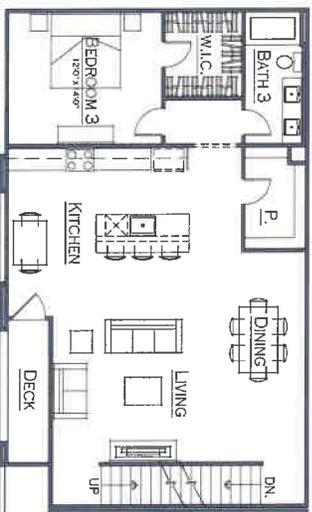
HENDERSON, NEVADA

SCALE: 3/16" = 1'-0" NOVEMBER 28, 2024

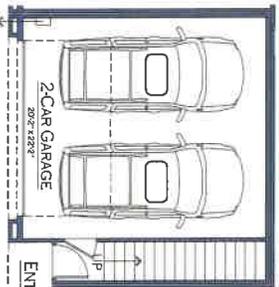




THIRD FLOOR



SECOND FLOOR



FIRST FLOOR

UNIT 2
3 BEDRM, 3 BATH, LOFT
(2,385 SF)

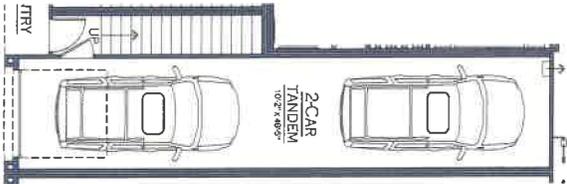
UNIT PLANS

8-PLEX

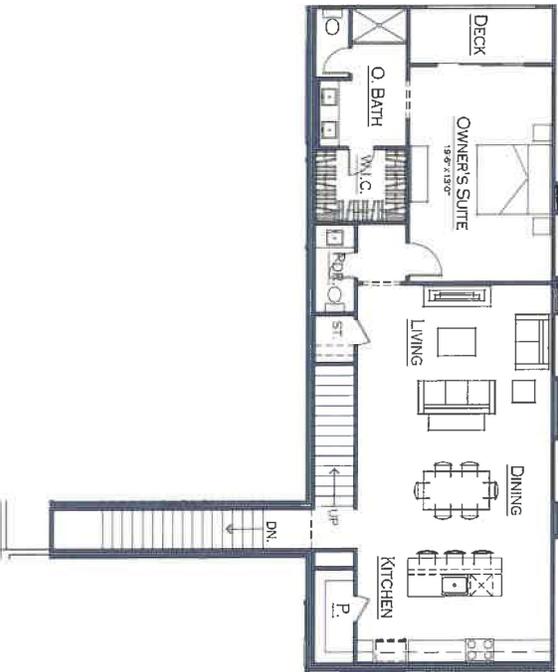
3-STORY CONDOMINIUMS

HENDERSON, NEVADA

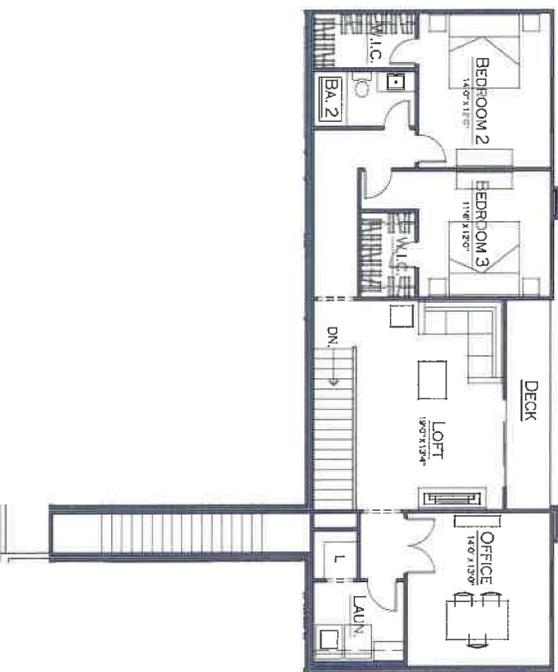




FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

UNIT 3
3 BEDRM, 2.5 BATH, LOFT + OFFICE
(2,542 SF)

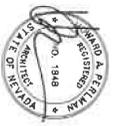
UNIT PLANS

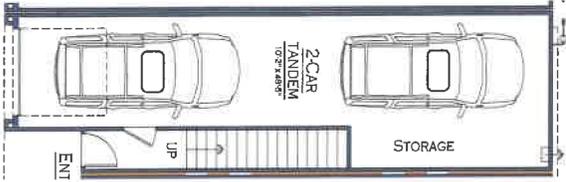
8-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

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FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

UNIT 4

3 BEDRM, 3 BATH
(1,882 SF)

UNIT PLANS

4/8-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

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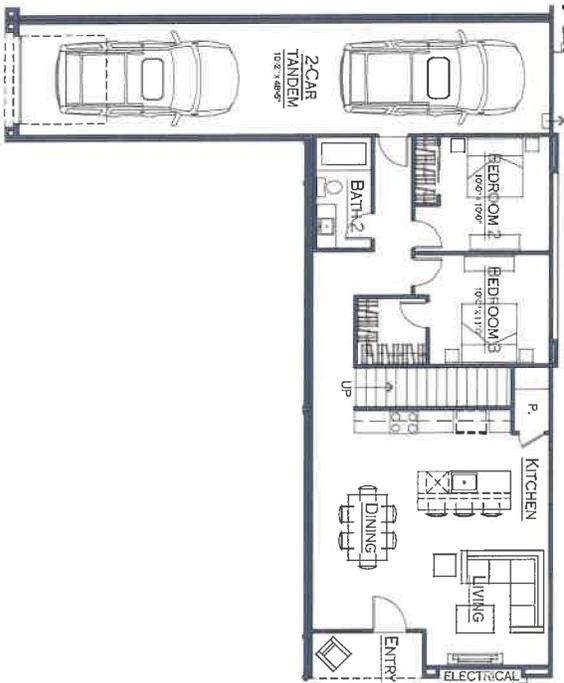
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November 22, 2024

SCALE: 3/16" = 1' NOVEMBER 26, 2024





FIRST FLOOR



SECOND FLOOR

UNIT 5

3 BEDRM, 2 BATH
(1,544 SF)

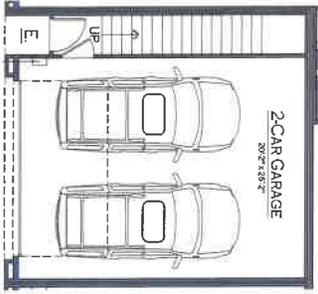
UNIT PLANS

4/8-PLEX

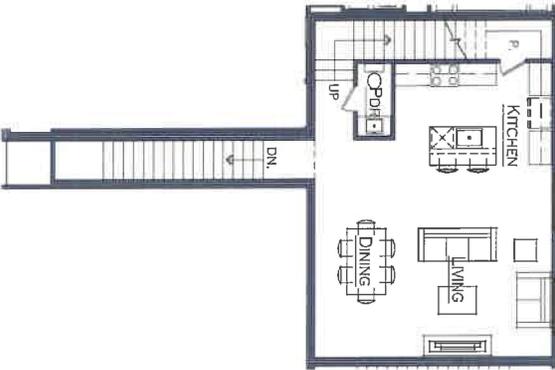
3-STORY CONDOMINIUMS

HENDERSON, NEVADA

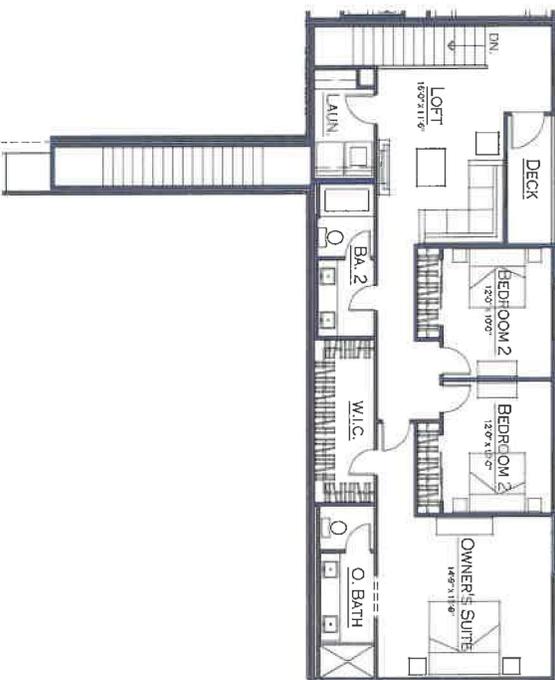




FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

UNIT 6
 3 BEDRM, 2.5 BATH, LOFT
 (2,027 SF)

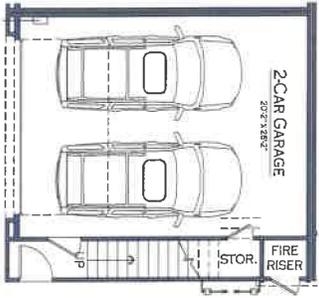
UNIT PLANS

4/8-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA





FIRST FLOOR



SECOND FLOOR



THIRD FLOOR

UNIT 7

3 BEDRM, 3 BATH, LOFT
(2,423 SF)

UNIT PLANS

4/8-PLEX

3-STORY CONDOMINIUMS

HENDERSON, NEVADA

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SCALE: 3/16" = 1' NOVEMBER 26, 2024



LANDSCAPE IMPROVEMENT PLANS

FOR
CENTENNIAL LOSEE
 LAWRENCE STREET & LOSEE ROAD,
 NORTH LAS VEGAS, NV 89081



SHEET INDEX

PG #	SHEET LABEL	DESCRIPTION
1	L.A.C.V	LANDSCAPE COVER
2	L.A.2.0	WALL PLAN
3-4	L.A.2.1-2.2	LANDSCAPE PAINTING PLANS
5-7	L.A.3.1-L.A.3.3	PAINTING PLANS
8-11	L.A.5.1-L.A.5.4	CONSTRUCTION DETAILS

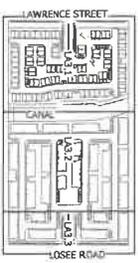
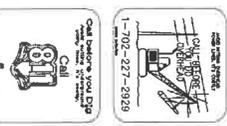
CLIENT / OWNER DEVELOPER:

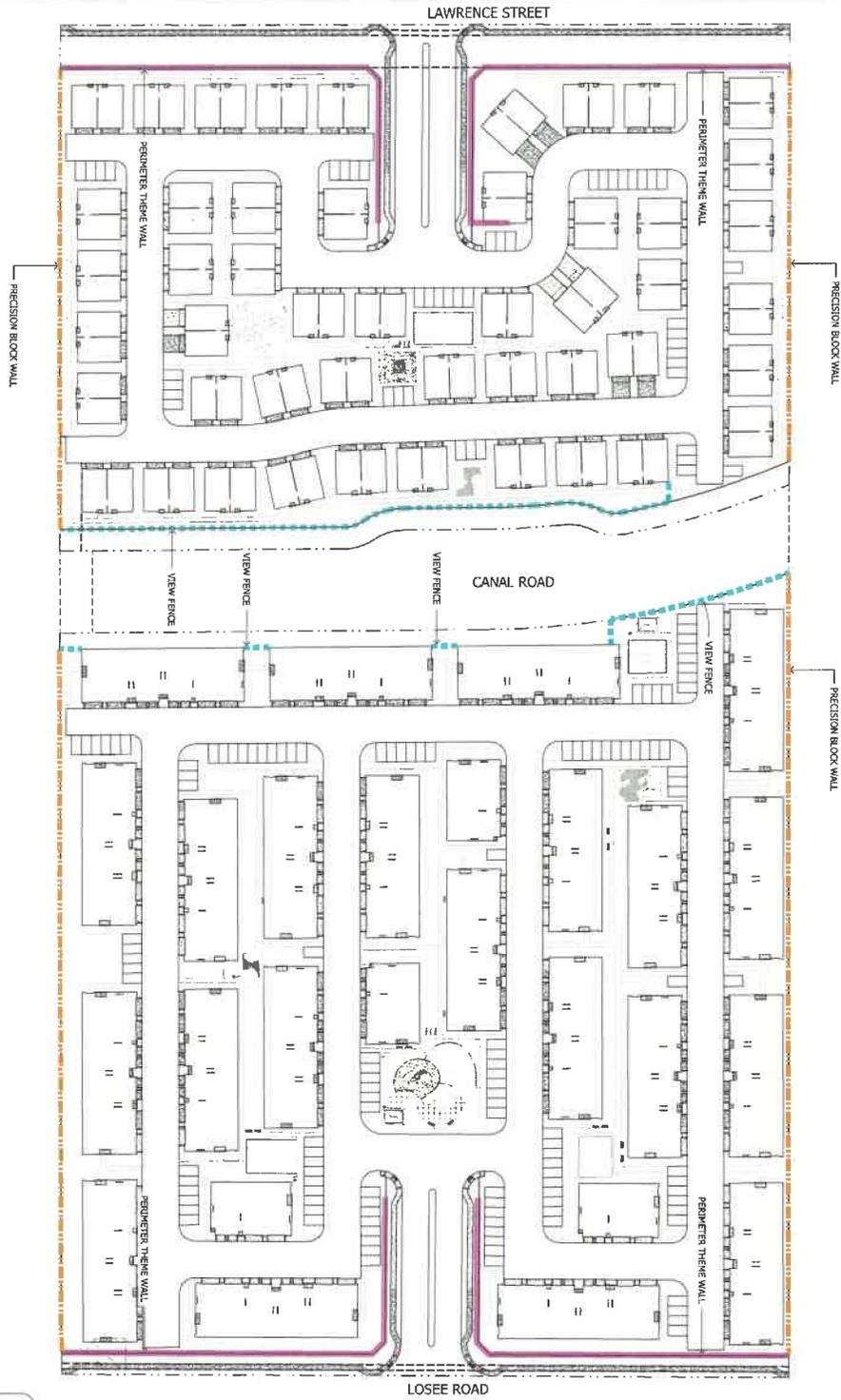
LENNAR
 BROOKER EGM
 9275 W. BUISSE ROAD, SUITE 400
 LAS VEGAS, NEVADA 89148
 702-481-4888
 brooker.egm@lennar.com

CONSULTANT TEAM:

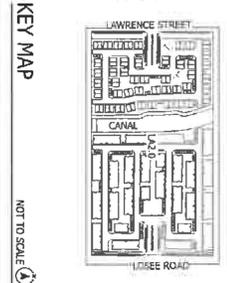
LANDSCAPE ARCHITECT
 ABLA, LLC
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 TEMPE, AZ 85281
 480-530-0077
 tom.durant@ablastudio.com

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 1405 FLETCHER ROAD, SUITE 204
 LAS VEGAS, NV 89110
 702.458.2551
 WWW.WJBGROUP.COM





CHAD THOMAS
 LICENSE NO. 1-702-227-2329
 CIVIL ENGINEER
 STATE OF NEVADA

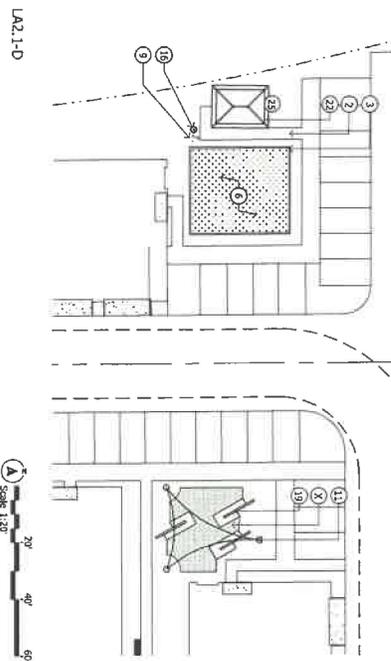
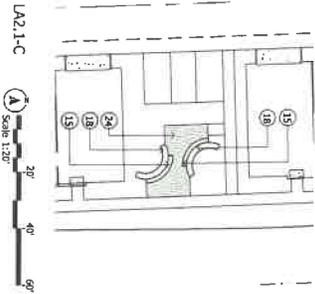
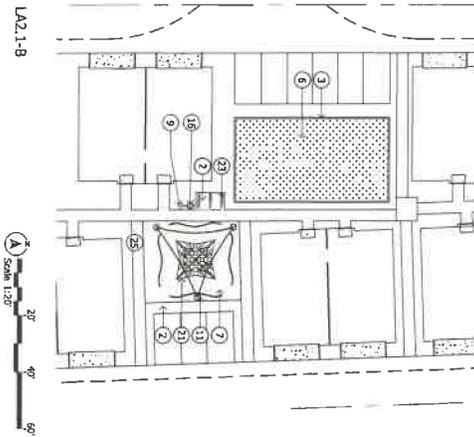
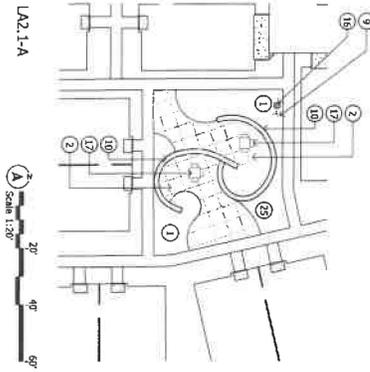


WALL LEGEND

SYMBOL	DESCRIPTION	DETAIL	QTY
	PERIMETER THEME WALL	DETAIL 1, SHEET LAK.1, 1/25' UP	
	PRECISION BLOCK WALL	DETAIL 2, SHEET LAK.1, 2/20' UP	
	VIEW FENCE	DETAIL 3, SHEET LAK.1, 0/0' UP	

GENERAL WALL NOTES

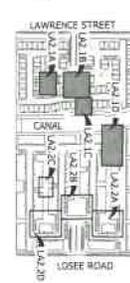
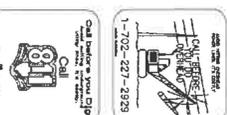
- ALL WALLS TO TERMINATE WITH END WALL COLUMN 20'-0" FROM BACK OF
- QUANTITIES SHOWN ARE FOR BIDDING AND PERMITTING PURPOSES ONLY.
- CONTRACTOR TO VERIFY SIDING RETURN LOCATIONS WITH (HORIZONTALS)



KEYNOTES

- 1 LANDSCAPE AREA WITH DECOMPOSED GRANITE - SEE PLANTING LEGEND
- 2 CONCRETE SIDEWALK - SEE DETAIL 1, SHEET LA6.2
- 3 CONCRETE HEADER - SEE DETAIL 2, SHEET LA6.2
- 4 CONCRETE TURNDOWN - SEE DETAIL 10, SHEET LA6.2
- 5 CONCRETE HEADER TURNDOWN - SEE DETAIL 4, SHEET LA6.2
- 6 ARTIFICIAL TURF - SEE DETAIL 5, SHEET LA6.2
- 7 ENGINEERED WOOD FIBER AT "TOT LOT" - SEE DETAIL 9, SHEET LA6.2
- 8 E.P.D. ADA ACCESS RAMP INTO WOOD FIBER - SEE DETAIL 9, SHEET LA6.2
- 9 DOG WASTE STATION - SEE DETAIL 3, SHEET LA6.2
- 10 24" TALL SEAT WALL - SEE DETAIL 6, SHEET LA6.2
- 11 SHADE SAIL - SEE DETAIL 7, SHEET LA6.2
- 12 PICNIC TABLE - SEE DETAIL 1, SHEET LA6.3
- 13 BENCH - SEE DETAIL 2, SHEET LA6.3
- 14 ROUNDED IN PLACE CONCRETE WALL - SEE DETAIL 3, SHEET LA6.3
- 15 WOOD TOP BENCH - SEE DETAIL 4, SHEET LA6.3
- 16 TRASH RECEPTACLE - SEE DETAIL 5, SHEET LA6.3
- 17 GAME TABLE - SEE DETAIL 8, SHEET LA6.3
- 18 CURVED ROUNDED IN PLACE CONCRETE WALL WITH SEATING - SEE DETAIL 7, SHEET LA6.3
- 19 LIGHT BOX WITH SEATING - SEE DETAIL 9, SHEET LA6.3
- 20 PLAY STRUCTURE 1 - SEE DETAIL 1, SHEET LA6.4
- 21 PLAY STRUCTURE 2 - SEE DETAIL 2, SHEET LA6.4
- 22 RAMPWALK - SEE DETAIL 3, SHEET LA6.4
- 23 BONE PILE - SEE DETAIL 4, SHEET LA6.4
- 24 PATIERS - SEE DETAIL 11, SHEET LA6.2

SYMBOLS AND ABBREVIATIONS
TYP: TYPICAL



KEY MAP NOT TO SCALE

DATE: 11-22-2024
ISSUED FOR: PD
DRAWN BY: RL, PD
CHECKED BY: TD
PERMIT NUMBER:
ABLA PROJECT NUMBER: 77-709-24

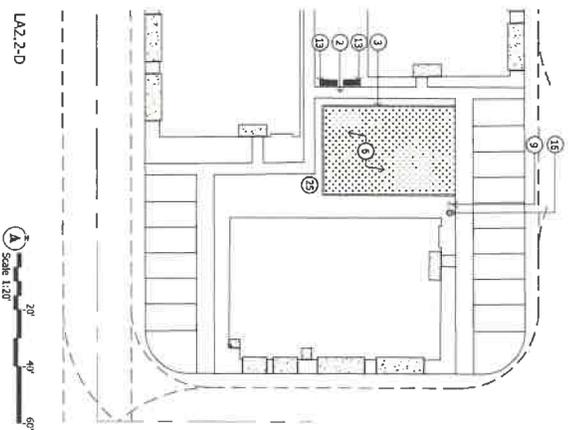
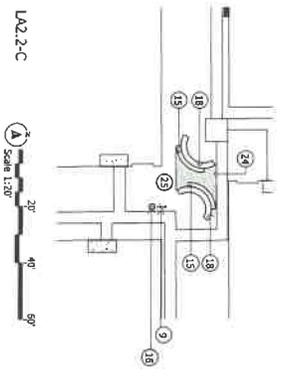
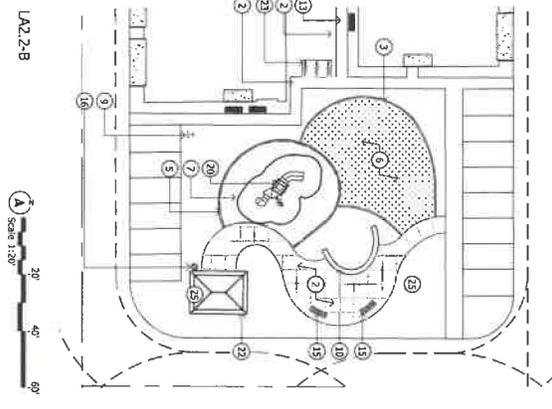
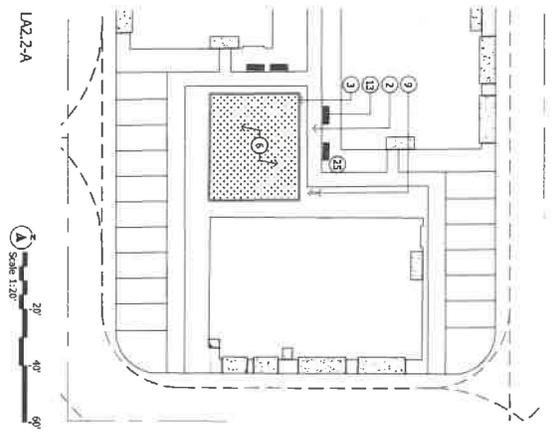


ABLA
310 E. RIO SALADO PARKWAY
TEMPE, ARIZONA 85281
OFFICE: 480-530-0077
WEB: ABLASTUDIO.COM



Centennial Losee
LANDSCAPE IMPROVEMENT PLANS
Lawrence St & Losee Rd
North Las Vegas, NV 89081
SHEET TITLE: LAYOUT PLAN

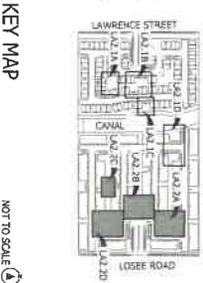
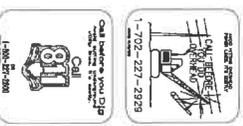


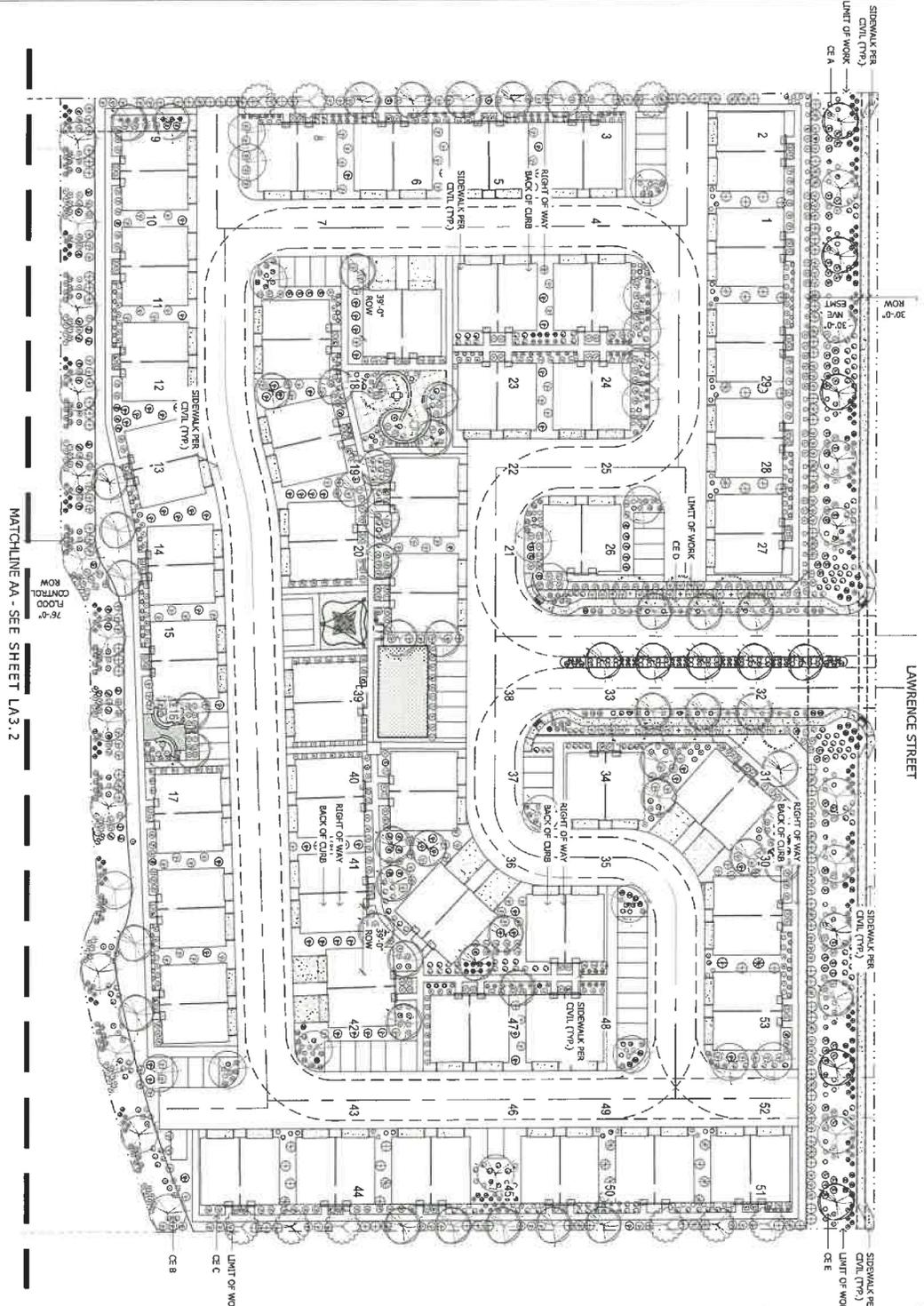


KEYNOTES

- 1) LANDSCAPE AREA WITH DECOMPOSED GRANITE - SEE PLANTING LEGEND
- 2) CONCRETE SIDEWALK/PAV - SEE DETAIL 1, SHEET LA6.2
- 3) CONCRETE WALKWAY - SEE DETAIL 2, SHEET LA6.2
- 4) CONCRETE TURNOVER - SEE DETAIL 10, SHEET LA6.2
- 5) CONCRETE WALKWAY TURNOVER - SEE DETAIL 4, SHEET LA6.2
- 6) ARTIFICIAL TURF - SEE DETAIL 5, SHEET LA6.2
- 7) BURNED WOOD FIBER AT "HOT LOT" - SEE DETAIL 8, SHEET LA6.2
- 8) E.P. D.M. ADA ACCESS RAMP INTO WOOD FIBER - SEE DETAIL 9, SHEET LA6.2
- 9) DOG WASTE STATION - SEE DETAIL 3, SHEET LA6.2
- 10) 2X TALL SEAT WALL - SEE DETAIL 6, SHEET LA6.2
- 11) SHADE WALL - SEE DETAIL 7, SHEET LA6.2
- 12) PHOTIC TABLE - SEE DETAIL 1, SHEET LA6.3
- 13) BENCH - SEE DETAIL 2, SHEET LA6.3
- 14) POURED IN PLACE CONCRETE WALL - SEE DETAIL 3, SHEET LA6.3
- 15) WOOD TOP BENCH - SEE DETAIL 4, SHEET LA6.3
- 16) TRASH RECEPTACLE - SEE DETAIL 5, SHEET LA6.3
- 17) GAME TABLE - SEE DETAIL 8, SHEET LA6.3
- 18) CHIPPED GRANITE IN PLACE CONCRETE WALL WITH SEATING - SEE DETAIL 2, SHEET LA6.3
- 19) LIGHT BOX WITH SEATING - SEE DETAIL 1, SHEET LA6.3
- 20) PLAY STRUCTURE 1 - SEE DETAIL 1, SHEET LA6.4
- 21) PLAY STRUCTURE 2 - SEE DETAIL 2, SHEET LA6.4
- 22) RAMADA - SEE DETAIL 3, SHEET LA6.4
- 23) BIKE RACK - SEE DETAIL 4, SHEET LA6.4
- 24) PATIENS - SEE DETAIL 11, SHEET LA6.2
- 25) BOLLARD LIGHTING AND MANUAL LIGHTING FOR OPEN SPACE TO BE SUBMITTED WITH FINAL CONSTRUCTION DOCUMENTS

SYMBOLS AND ABBREVIATIONS
TYP. TYPICAL



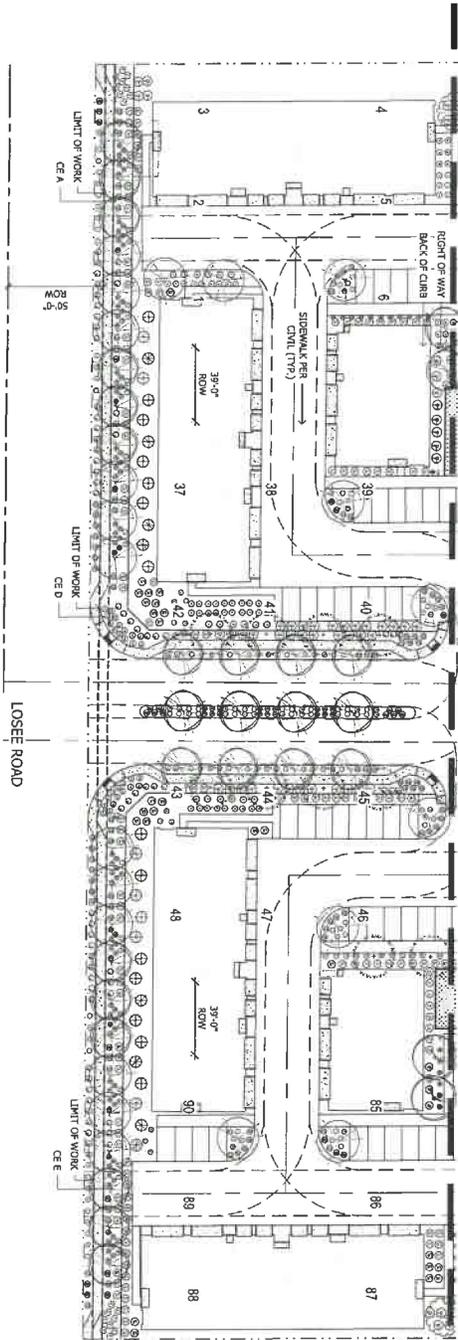


PLANT MATERIALS LEGEND

Tree	Quantity	Box	Qty
Chaparral Juniper	24/735'	15	
Parsonsia florida	24/735'	85	
Quercus agrifolia	24/735'	109	
Chitalian Lav Oak	24/735'	29	
Prunus hybrid	24/735'	37	
Thornless Mesquite			
Groutcrazes			
① Eriogonum prostratum	5 gal	457	
② Oldfield Service Eriogonum	5 gal	457	
③ New Court Larzana	5 gal	35	
④ Larzana 50	5 gal	86	
⑤ Larzana 50	5 gal	86	
⑥ Green Chard	5 gal	5	
⑦ Prunella canadensis	5 gal	5	
⑧ Prunella canadensis	5 gal	5	
⑨ Prunella canadensis	5 gal	5	
⑩ Prunella canadensis	5 gal	5	
⑪ Prunella canadensis	5 gal	5	
⑫ Prunella canadensis	5 gal	5	
⑬ Prunella canadensis	5 gal	5	
⑭ Prunella canadensis	5 gal	5	
⑮ Prunella canadensis	5 gal	5	
⑯ Prunella canadensis	5 gal	5	
⑰ Prunella canadensis	5 gal	5	
⑱ Prunella canadensis	5 gal	5	
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㊾ Prunella canadensis	5 gal	5	
㊿ Prunella canadensis	5 gal	5	

- NOTES:
1. ALL QUANTITIES SHOWN FOR SUBMITTAL PURPOSES ONLY.
 2. ALL QUANTITIES SHOWN ARE FOR THE LANDSCAPE ARCHITECT'S ESTIMATING PURPOSES ONLY. THE CONTRACTOR SHALL CALCULATE QUANTITIES BASED ON THIS DRAWING SET.
 3. ALL TREES SHALL COME WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS - SEE 4. TREES SHALL NOT BE PLANTED WITHIN 50 FEET IN FRONT OF A TRAFFIC SIGNAL, SIGNAL INDICATION, AND BEACONS.
 4. TREES AND SHRUBS SELECTED FROM SOUTHERN NEVADA REGIONAL PLANTING COLLECTION REGIONAL PLANT LIST (GENCO) AND TOWN CENTER SOLUTIONS.



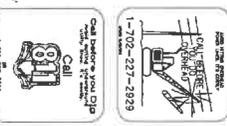


PLANT MATERIALS LEGEND



Type	Box	Qty
① <i>Quercus laevis</i>	24'x26"	15
② <i>Palms</i>	24'x26"	85
③ <i>Blue Palo Verde</i>	24'x26"	109
④ <i>Cholla</i>	24'x26"	29
⑤ <i>Prosopis juliflora</i>	24'x26"	37
⑥ <i>Prosopis juliflora</i>	24'x26"	37
⑦ <i>Prosopis juliflora</i>	24'x26"	37
⑧ <i>Prosopis juliflora</i>	24'x26"	37
⑨ <i>Prosopis juliflora</i>	24'x26"	37
⑩ <i>Prosopis juliflora</i>	24'x26"	37
⑪ <i>Prosopis juliflora</i>	24'x26"	37
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㊾ <i>Prosopis juliflora</i>	24'x26"	37
㊿ <i>Prosopis juliflora</i>	24'x26"	37

NOTES:
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 2. ALL QUANTITIES SHOWN ARE FOR THE LANDSCAPE ARCHITECT'S ESTIMATING PURPOSES ONLY. THE CONTRACTOR SHALL CALCULATE QUANTITIES BASED ON THIS DRAWING SET. THE CONTRACTOR SHALL VERIFY ALL QUANTITIES WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS. SEE SPECIFICATIONS FOR TREE SPECIFICATIONS.
 3. ALL TREES SHALL COMPLY WITH THE LATEST AMENDED EDITION OF THE ARIZONA NURSERY ASSOCIATION - RECOMMENDED TREE SPECIFICATIONS. SEE SPECIFICATIONS FOR TREE SPECIFICATIONS.
 4. TREES SHALL NOT BE PLANTED WITHIN 50 FEET IN FRONT OF A TRAFFIC SIGN, SIGNAL, INDICATION, AND BEACONS.
 5. TREES AND SHRUBS SELECTED FROM SOUTHERN NEVADA REGIONAL PLANTING CONSULTANT REGIONAL PLANT LIST (SOPAC) AND TOWN CENTER GUIDELINES.



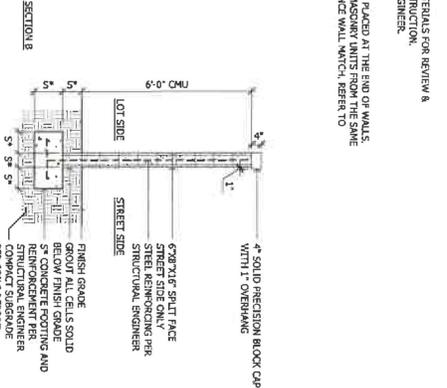
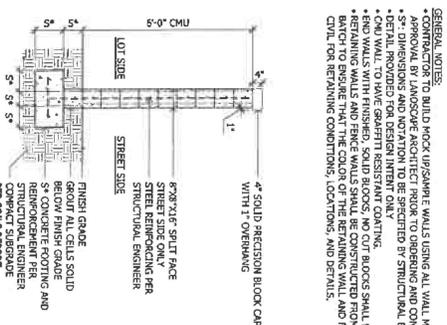
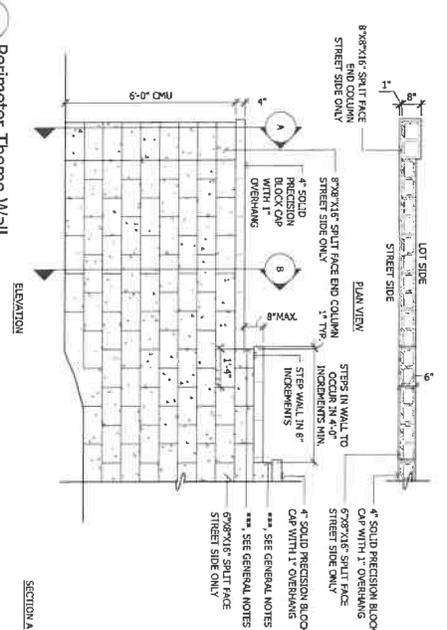
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 ISSUED FOR:
 DRAWN BY: IR, PD
 CHECKED BY: TD
 PERMIT NUMBER:
 ABLA PROJECT NUMBER: 77-709-24

ABLA
 310 E. RIO SALADO PARKWAY
 TEMPE, ARIZONA 85281
 OFFICE: 480-530-0077
 WEB: ABLASTUDIO.COM

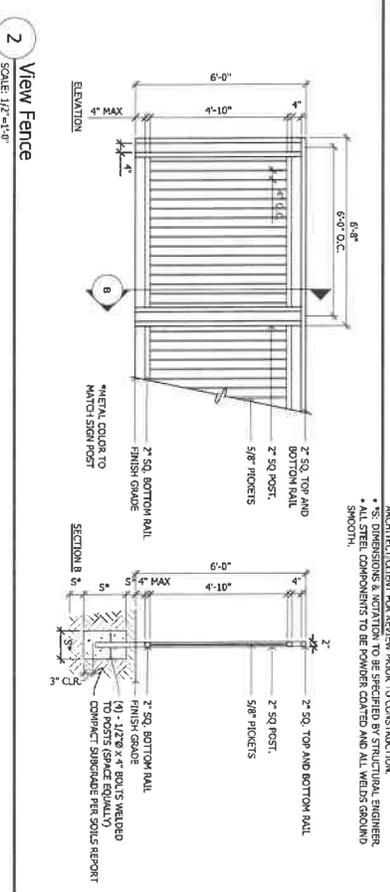
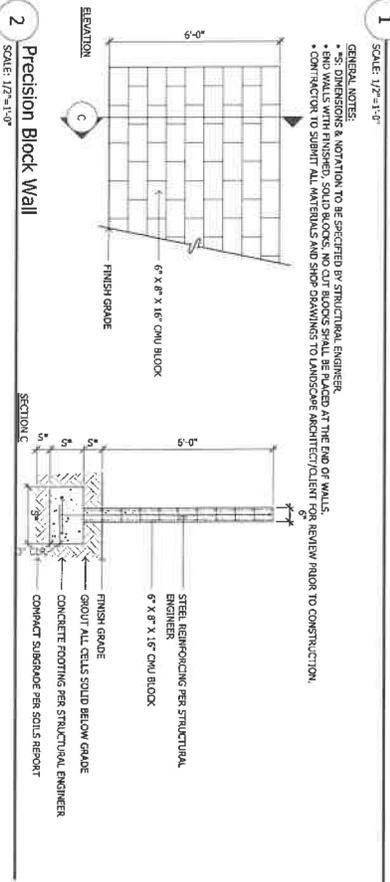
LENNAR

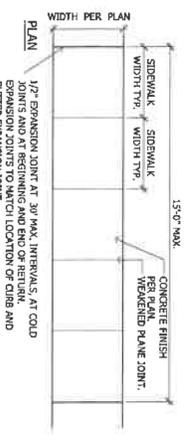
Centennial Losee
 LANDSCAPE IMPROVEMENT PLANS
 Lawrence St & Losee Rd
 North Las Vegas, NV 89081
 SHEET TITLE: PLANTING PLAN

Permit information and other regulatory details.



GENERAL NOTES:
 * ALL DIMENSIONS & NOTATION TO BE SPECIFIED BY STRUCTURAL ENGINEER.
 * CONTRACTOR TO SUBMIT ALL MATERIALS AND SHOP DRAWINGS TO LANDSCAPE ARCHITECT/CLIENT FOR REVIEW PRIOR TO CONSTRUCTION.
 * END WALLS WITH FINISHED, SOLID BLOCKS, AND CUT BLOCKS SHALL BE PLACED AT THE END OF WALLS.
 * CONTRACTOR TO SUBMIT ALL MATERIALS AND SHOP DRAWINGS TO LANDSCAPE ARCHITECT/CLIENT FOR REVIEW PRIOR TO CONSTRUCTION.





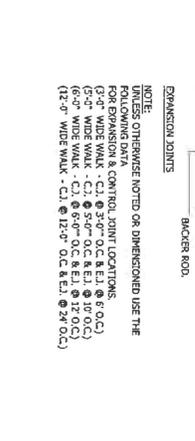
1 Concrete Sidewalk/ Pad
SCALE: 1/2"=1'-0"

ADJACENT LANDSCAPE
6.5" x 3" STANDARD GRAY CONCRETE WEAR SURF 3/4" RADIIUS ALL EDGES.

WOOD FIBER SPECIFICATIONS:
THE MATERIAL SHALL MEET ASTM F-1205-05 AND ADA PER ASTM IS 33-97. THE MATERIAL SHALL BE MANUFACTURED FROM 100% CLEAN WOOD. MATERIAL SHALL BE FREE OF TWIGS, BARK, AND LEAF ADVERTISEMENTS. THE MATERIAL SHALL BE NON TOXIC.

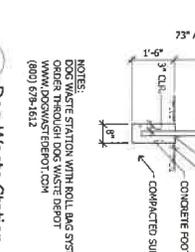
CONCRETE SIDEWALK NOTES:
EXPANSION JOINTS SHALL BE LOCATED AT MIDPOINT OF SIDEWALK OR WIDER.

2 Concrete Header
SCALE: 1/2"=1'-0"



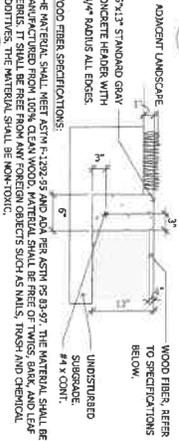
GENERAL NOTES:
1. FINISHING AND DRY COMPRESSION STRENGTH OF CONCRETE (FC) SHALL BE 4000 PSI W/ 5% COMPACTED SIBERGRADE PER PLAN (NOT REQUIRED)
2. USE TYPE V PORTLAND CEMENT CONFORMING TO ASTM C150.

3 Dog Waste Station
SCALE: 1/2"=1'-0"



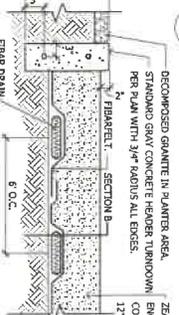
NOTES:
1. FINISH STATION WITH ROLL BAG SYSTEM - DB907-006-B
ORDER THROUGH DOG WASTE DEPT
WWW.DOGWASTEDEPT.COM
(800) 679-1612

4 Concrete Header Turndown
SCALE: 1"=1'-0"



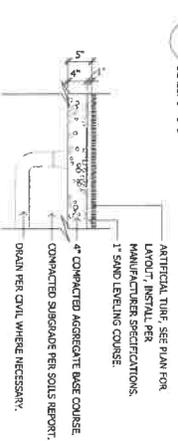
NOTES:
1. SEE STRUCTURAL ENGINEERING FOR DIMENSIONS OF FOOTERS & REINFORCEMENT.
2. FINISH GRADE SHALL BE 1/2\"/>

5 Artificial Turf
SCALE: 1"=1'-0"



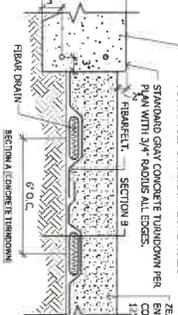
ARTIFICIAL TURF, SEE PLAN FOR MANUFACTURER SPECIFICATIONS, 1\"/>

6 20\"/>



NOTES:
1. SEE STRUCTURAL ENGINEERING FOR DIMENSIONS OF FOOTERS & REINFORCEMENT.
2. FINISH GRADE SHALL BE 1/2\"/>

7 Shade Sail
SCALE: 1/2"=1'-0"

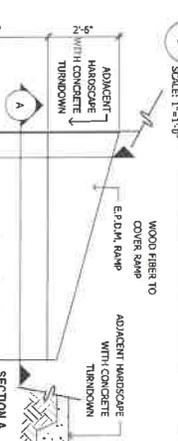


8 Engineered Wood Fiber at \"Tot Lot\"
SCALE: 1/2"=1'-0"



NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER SPECIFICATIONS.
2. DO NOT SCALE DIMENSIONS.
3. WOOD CHIP/WASTE PARTS MUST BE INSTALLED UNDER ALL SWINGS, TRAMPOLINES & SLIDE DECKS TO PREVENT WAREWART. SEE 113-002.
5. CONTRACTORS NOTE: FOR PRODUCT AND FINISHING INFORMATION VISIT www.zegger.com

9 E.P.D.M. ADA Access Ramp Into Wood Fiber
SCALE: 1/2"=1'-0"

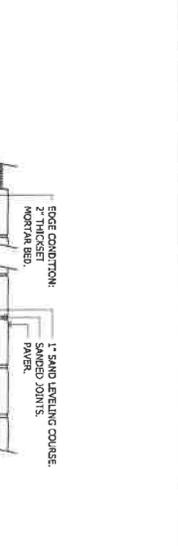


WOOD FIBER, REFER TO SPECIFICATIONS BELOW.
UNDESTRUCTURED SURGRADE, #4 x CONT. SURGRADE PER SOILS REPORT.

10 Concrete Turndown
SCALE: 1/2"=1'-0"

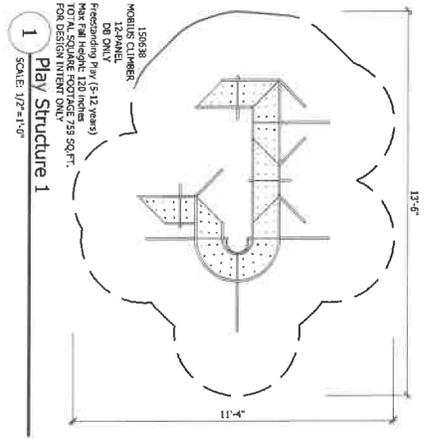


11 Pavers
SCALE: 1"=1'-0"



NOTES:
1. CONTRACTOR TO VERIFY PAVES PER MANUFACTURER SPECIFICATIONS.
2. FINISH GRADE SHALL BE 1/2\"/>

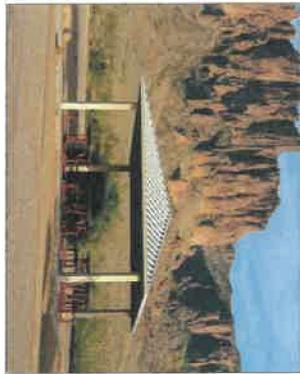




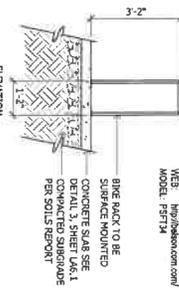
1
Play Structure 1
SCALE: 1/2"=1'-0"



2
Play Structure 2
SCALE: 1/2"=1'-0"



3
Ramada
SCALE: 1/2"=1'-0"



4
Bike Rack
SCALE: 1/2"=1'-0"



GENERAL NOTES:
 • ALL MATERIALS TO BE CONSULTED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 • CONSULT WITH SUPPLIER FOR MATERIAL REQUIREMENTS PER MANUFACTURER'S SPECIFICATION.



LAS VEGAS OFFICE
1980 Festival Plaza Drive, Suite 650
Las Vegas, NV 89135
T: 702.792.7000
F: 702.796.7181

KAEMPFER

CROWELL

Neighborhood Meeting Summary
Centennial Parkway / Losee Road
December 18, 2024

A neighborhood meeting was held on Wednesday, December 19, 2024 at 5:30 p.m. at the Alexander Library, located at 1755 West Alexander Road, Las Vegas, Nevada 89032. Lexa Green attended on behalf of the developer, along with a developer representative and Planning Commissioner Jimmy Vega. No neighbors were present.



Real Property Management
1180 Military Tribute Place
Henderson, NV 89074

School Development Tracking Form

<http://facilities.ccsd.net/departments/real-property-management/>

Date Filed 12/05/2024 Application Number ZN-20-2024 Entity NLV

Company Name Greystone Nevada, LLC

Contact Name _____

Contact Mailing Address _____

City _____ State _____ Zip Code _____

Phone (702) 417-2470 Email _____

Project Name Centennial Losee

Project Description Develop 288 lot Multi-family condominium development
Located on E. Centennial Pkwy & Losee Road
17.97 gross acres

APN's 124-26-501-019, & 020

Student Yield	Elementary School	Middle School	High School
Single-Family Units (1)	x 0.142 = 0	x 0.080 = 0	x 0.130 = 0
Multi-Family Units (2) 288	x 0.124 = 36	x 0.061 = 18	x 0.080 = 24
Resort Condo Units (3)			
Total	36	18	24

(1) Single Family unit is defined as single family detached home, mobile home, and townhouse.

(2) Multi-Family unit is defined as apartment, multiplexes, and condominiums.

(3) Resort Condominium units for tracking purposes only.

* To be completed by CCSD

Schools Serving the Area*					
Name	Address	Grade	Capacity	Enrollment	Site Date
Hayden, Don E. ES	150 W. Rome Blvd.	K-5	658	776	11/01/24
Duncan, Ruby ES	250 W. Rome Blvd	K-5	629	724	11/01/24
Cram, Brian & Teri MS	1900 W. Deersprings Way	6-8	1514	1434	11/01/24
Legacy HS	150 W. Deersprings Way	9-12	2477	2677	11/01/24

* **CCSD Comments** Hayden, Don E. ES, Duncan, Ruby ES, Ellis, & Legacy HS are over program capacity for the 2024-2025 school year. Hayden, Don E. ES is 117.93% over program capacity, Duncan, Ruby ES is 115.10% over program capacity, & Legacy HS is 108.07% over program capacity.

Approved Disapproved

NOTES

This map is for assessment use only and does NOT represent a survey. No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office. This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information. USE THIS SCALE/EFFECT WHEN MAP IS REDUCED FROM 1:1X17 ORIGINAL.

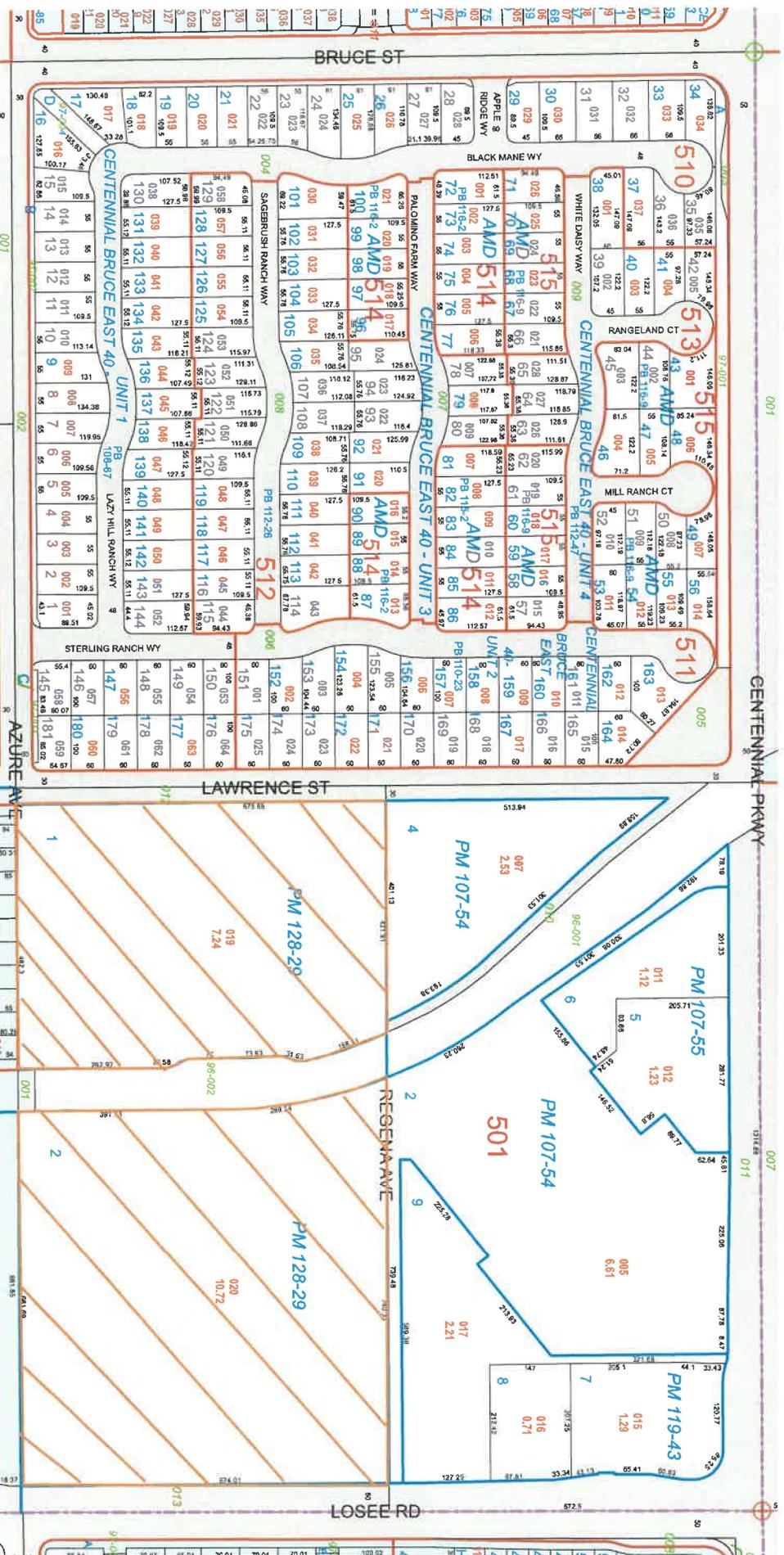
MAP LEGEND

- PARCEL BOUNDARY
- SUB BOUNDARY
- AIR SPACE PCL
- RIGHT OF WAY PCL
- SUB SURFACE PCL
- ROAD BOUNDARY
- PARCEL ASSEMBLY
- MACH/LANDMARK LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- HISTORIC PLND BOUNDARY
- SECTION LINE
- CONDOMINIUM UNIT
- 007 ROAD PARCEL NUMBER
- 001 PARCEL NUMBER
- 1.00 ACREAGE
- 202 PARCEL SUBSEQ NUMBER
- PB 2-4-5 PLAT RECORDING NUMBER
- 5 BLOCK NUMBER
- 91.5 GOV. LOT NUMBER

ASSESSOR'S PARCELS - CLARK CO., NV.
 Briana Johnson - Assessor

BOOK	T19S R61E	SEC.	26	MAP	N 2 NE 4
100	101	102	11	1	1
125	124	123	12	2	2
138	139	140	14	3	3
11	12	13	15	4	4
14	15	16	16	5	5
17	18	19	17	6	6
20	21	22	18	7	7
23	24	25	19	8	8
26	27	28	20	9	9
29	30	31	21	10	10
32	33	34	22	11	11
35	36	37	23	12	12
38	39	40	24	13	13
41	42	43	25	14	14
44	45	46	26	15	15
47	48	49	27	16	16
50	51	52	28	17	17
53	54	55	29	18	18
56	57	58	30	19	19
59	60	61	31	20	20
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399	400	401	145	134	134

Scale:	1" = 200'	Rev:	6/27/2022
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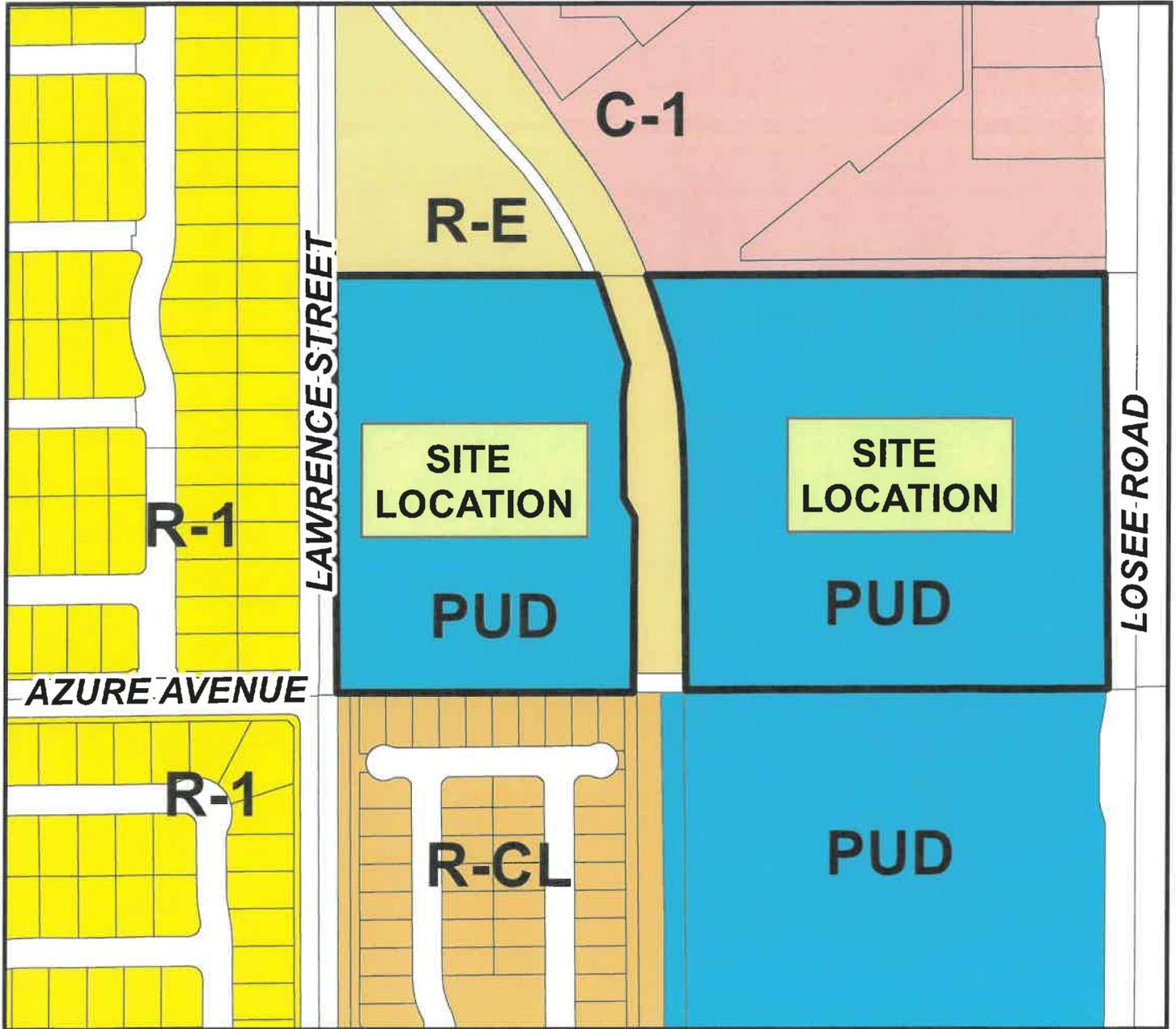


TAX DIST 254



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Greystone Nevada, LLC
Application Type: Property Reclassification
Request: A Property Reclassification of 17.97 Acres from a PUD, Planned Unit Development District, to a PUD, Planned Unit Development District, Consisting of 288 Multi-Family Dwelling Units
Project Info: Northwest Corner of Losee Road and Azure Avenue 12/04/2024
Case Number: ZN-20-2024

