



March 3, 2025

City of North Las Vegas
Land Development and Community Services Department
2250 Las Vegas Blvd., North
North Las Vegas, Nevada 89030

RE: Ann & San Mateo, "Bella Copia"
Letter of Intent –Tentative Map and Final Development Plan
APN: 124-30-414-001

Dear City Staff,

On behalf of our client, Richmond American Homes of Nevada, we respectfully submit this Letter of Intent for the subject project requesting a Tentative Map and Final Development Plan review with Current Planning.

Richmond American Homes of Nevada proposes a single-family residential subdivision located at the NWC of Ann Road and San Mateo Street (APN: 124-30-414-001). The approximate 7.6± acre site is currently vacant, undeveloped land zoned as Planned Unit Development (PUD). The site has a land use designation of Single Family Medium. Riverwalk Ranch Cove, an existing residential development, abuts the northern boundary of the project, separated by an existing approximate 6-foot screen wall. San Mateo Street abuts the eastern boundary of the site and the existing Maravilla subdivision is located across San Mateo Street. Ann Road Avenue abuts the southern boundary of the project and existing commercial uses are located across Ann Road. Montgomery Street abuts the western boundary and the existing commercial subdivision, PM 105-41, is located across Montgomery Street. Lastly, there is an existing Firestone Auto Care per SF 52-70 southwest of the project site.

The proposed project includes a Tentative Map and Final Development Plan. The proposed project consists of eighty-four (84) single-family, attached (duplex) residential units with a minimum square footage of 1,659 square feet and a maximum of 1,770 square feet. The typical lot dimensions measure 30-feet wide by 55-feet long, with a minimum depth of 55-feet. The resulting density for the subdivision is 10.98± du/ac.

The minimum setbacks proposed with the Planned Unit Development are:

- Front Yard: 5 feet
- Garage Face: 5 feet
- Side Yard: 5 feet
- Side Street: 5 feet
- Rear Yard: 10 feet

Per the City of North Las Vegas Municipal Code – Title 17.24.020-2, the requirement for open space is 600 square feet/unit, resulting in a requirement of 50,400 square feet of open space in total. The open space provided is 53,130 square feet, exceeding the minimum requirement. Furthermore, 27,918 square feet (approximately 53%) of the provided open space is focused in the center of the development, conveniently accessible to all residents within the development for usable open space. The following amenities will be provided:

1. One (1) shaded ramada with a minimum dimension of 12'x12'.
2. Picnic tables, benches, dog stations and barbeque area(s).
3. Perimeter landscaped areas shall contain benches and dog stations.

The proposed landscape design will be consistent with the surrounding area. All landscaping will comply with the approved Southern Nevada Regional Plant List.

The residential subdivision will provide two (2) unique models, each model offers four (4) unique elevations as required by City of North Las Vegas Municipal Code. The homes range in size from 1,378 square feet to 1,500 are each two-story. All models provide front entry, 2-car garages. The homes feature a covered entry. The homes meet the intent of code by providing stucco exteriors, earth tone colors and concrete tile roofs. Furthermore, the elevations of all homes feature staggered sections, protruding and recessed features and alternative roof configurations to provide a varied appearance along the streetscape. All four sides of each elevation provide additional detailing and trim.

Access to the proposed development will be provided by a proposed driveway off San Mateo Street, through a gated ingress/egress gate. An additional gated, emergency-only access is also provided off the existing cul-de-sac at the end of Montgomery Street. The proposed project will provide a minimum of 10 feet of landscape buffer along San Mateo Street and Montgomery Street, and a minimum of 15 feet of landscape buffer along Ann Road. Offsite half street improvements for the San Mateo Street frontage are proposed with the Subdivision. Offsite improvements along the Ann Road frontage include a sidewalk and bus stop.

Pedestrian access will be provided Ann Road and San Mateo Drive, by a proposed pedestrian access gates, at the Northeast Driveway off of San Mateo Drive, and the southwest corner of the project site onto Ann Road.

Site improvements will comply with City of North Las Vegas Municipal Code - Titles 15 and 16, NRS 278 and accepted Clark County Area Uniform Standard Drawings. Improvements include paving, landscaping, curb, gutter, sidewalk, underground utilities, accessibility, and positive drainage.

There are no Right-of-Way (ROW) vacations anticipated with this development.

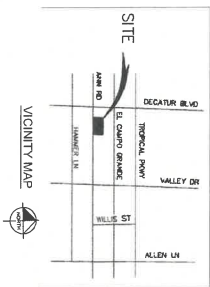
We look forward to working with Current Planning to achieve a favorable recommendation for this project. Please do not hesitate to contact me at (702) 623-7233 if you have any questions or require any additional information.

Sincerely,
Kimley-Horn and Associates



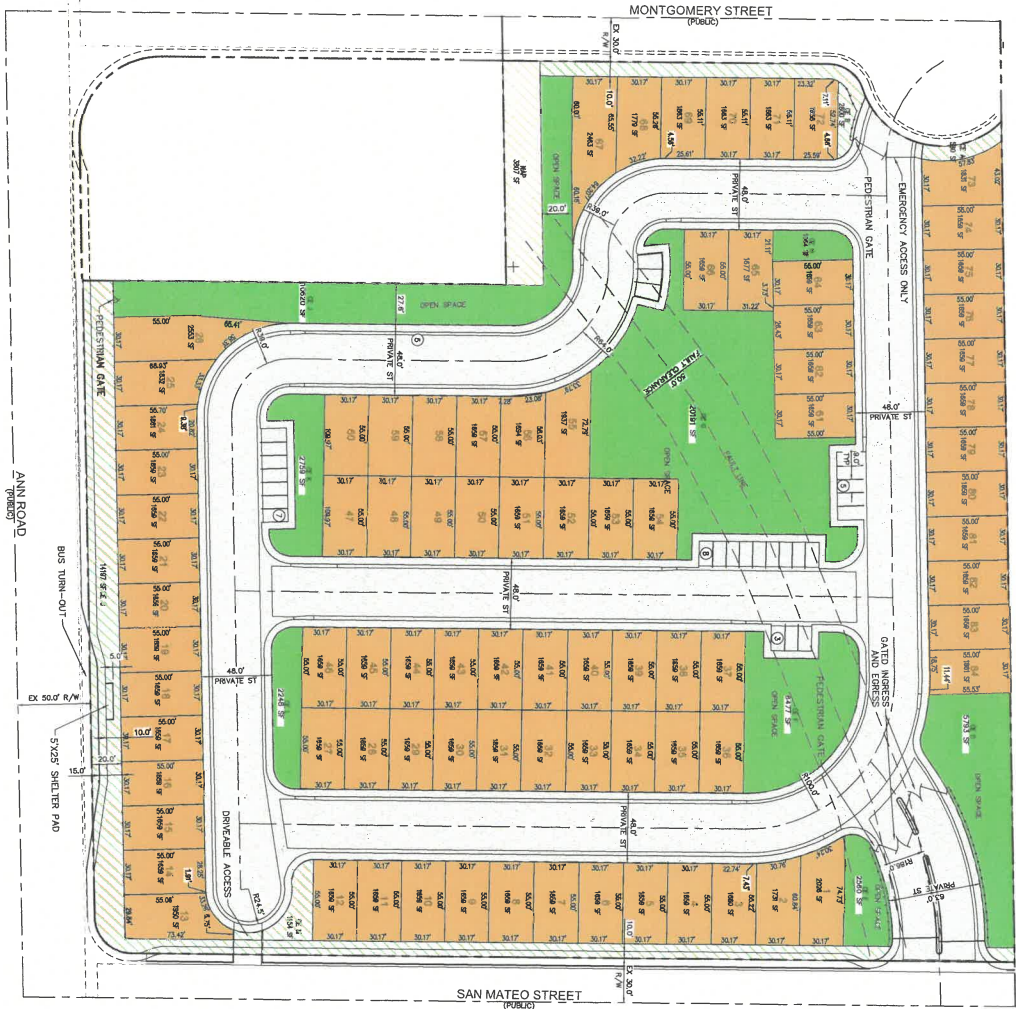
Eric Hopkins, P.E.
Project Engineer
Owner/Developer Correspondent

CC: Angela Pinley, Richmond American Homes of Nevada
Erica Goff, Richmond American Homes of Nevada
Adel Ziade, Kimley Horn and Associates



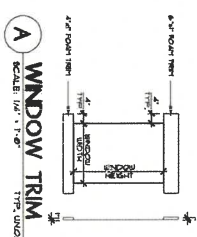
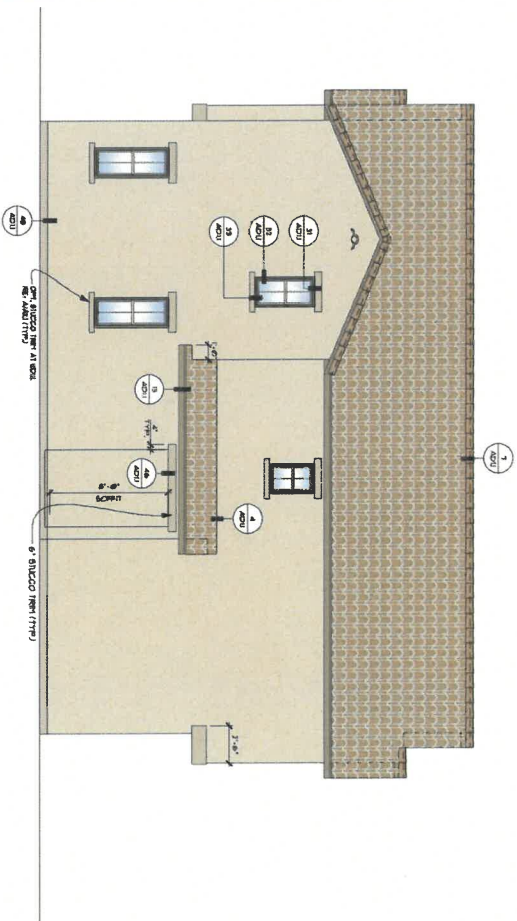
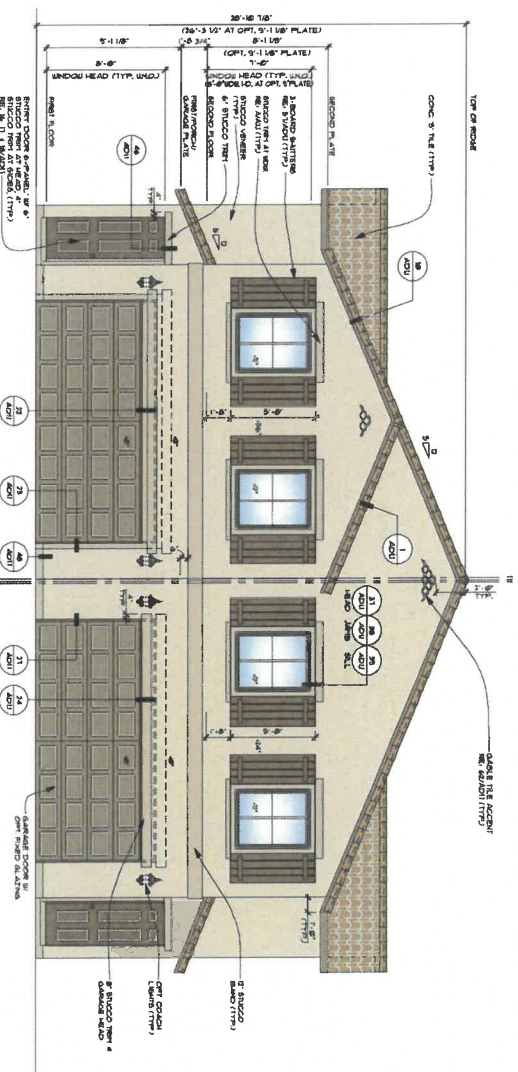
DEVELOPER/APPLICANT
RICHMOND AMERICAN HOMES OF NEVADA, INC.
1600 NORTH LAS VEGAS BLVD., SUITE 200
LAS VEGAS, NV 89119
TEL: (702) 790-0000
FAX: (702) 790-0001
WWW.RICHMONDAMERICAN.COM

REPRESENTATIVE
KIMLEY-HORN AND ASSOCIATES, INC.
1600 NORTH LAS VEGAS BLVD., SUITE 200
LAS VEGAS, NV 89119
TEL: (702) 790-0000
FAX: (702) 790-0001
WWW.KIMLEY-HORN.COM

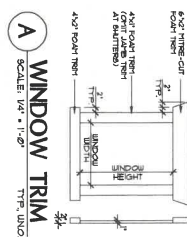
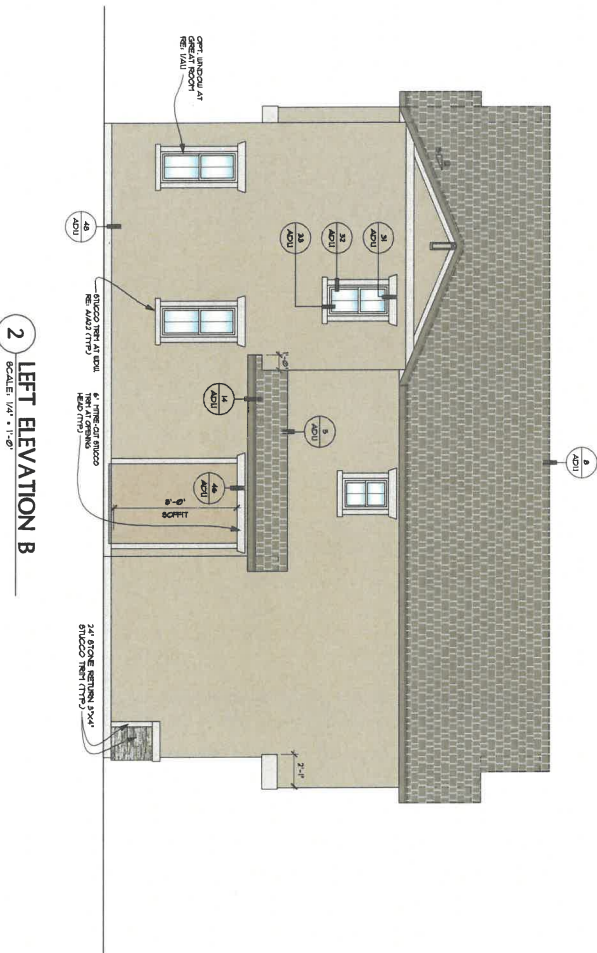
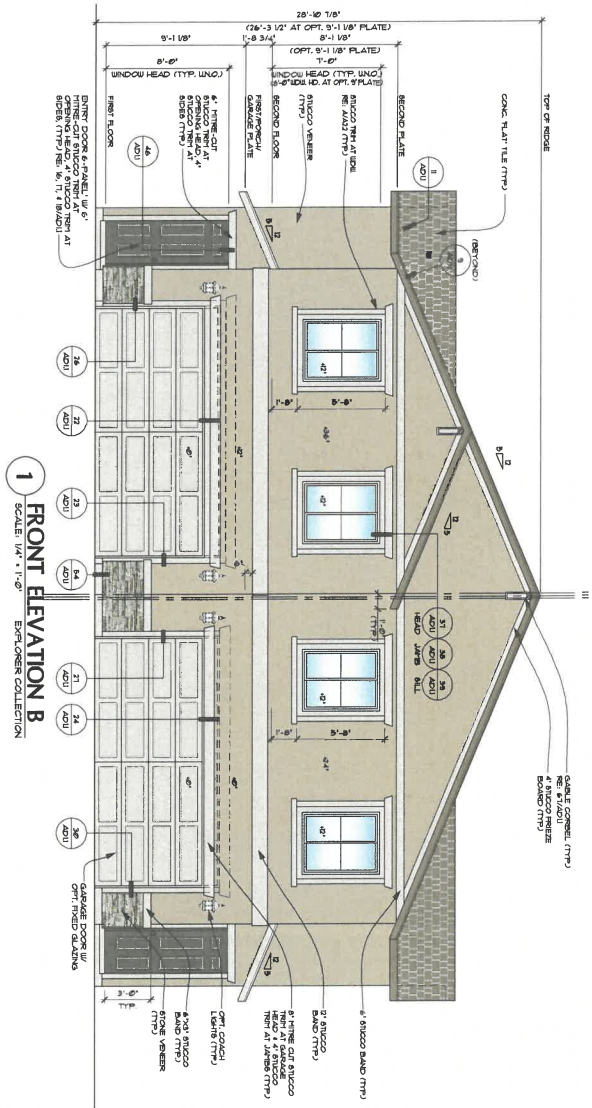


SITE DATA	
APN	124-30-414-001
ZONING	PUD
EXISTING ZONING	PUD
PROPOSED ZONING	PUD
EXISTING LAND USE	
PROPOSED LAND USE	
AREA	2.745 ac.
GROSS AREA	2.745 ac.
NET AREA	2.745 ac.
DENSITY	
UNIT TYPE	SINGLE-FAMILY, ATTACHED
UNIT COUNT	84
GROSS DENSITY	10.38
NET DENSITY	10.38
OPEN SPACE	50,400
REQUIRED (600 SP/UNIT)	50,400
PROVIDED	50,400
LOT AREA	1,658
MINIMUM	1,658
SETBACKS	
BUILDING	
FRONT YARD	5 FT
GARAGE	5 FT
SIDE YARD	5 FT
REAR YARD	10 FT
MIN SEPARATION	10 FT
MAX HEIGHT	35 FT
RESIDENT PARKING	168
REQUIRED (2 SPACES/UNIT)	168
PROVIDED (2 CAR GAR/UNIT)	168
GUEST PARKING	21
REQUIRED (0.25 SPACES/UNIT)	21
PROVIDED	31
PARKING TOTALS	189
REQUIRED	189
PROVIDED	199

LEGEND	
	SINGLE-FAMILY LOT
	NOT A PART
	OPEN SPACE/LAND
	OPEN SPACE/LAND (NOT OPEN SPACE)
	PARKING



42 RIGHT ELEVATION A
SCALE: 1/4" = 1'-0" REF. 1/42J FOR ADDITIONAL NOTES & DIMENSIONS



ELEVATION NOTES

ALL MATERIALS LISTED BELOW ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
ROOMING MATERIAL TO BE USED AS ROOF ROOFING.
CONCRETE ROOF TILE 180-41 (7/28) (R.C.).
STUCCO MATERIAL TO BE CRITICAL DIAMOND WALL.
STUCCO SYSTEM CORRELATES (1/28) (R.C.).
STUCCO MATERIAL TO BE CRITICAL DIAMOND WALL.
MANUFACTURED STONE VINYL (180-41) (7/28) (R.C.).
MANUFACTURED STONE VINYL (180-41) (7/28) (R.C.).

NOTES: 1. SEE ELEVATION 180-41 (7/28) (R.C.).

Justin Bozarth,
Qualified Employ



LAS VEGAS
770 East Warm Springs Road, Suite 240
Las Vegas, NV 89119 (702) 638-4400

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Date: 04/22/2014

Revisions:

**SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN II)
CLARK COUNTY**

Plan Name:
ALDER DUO

ELEVATION B

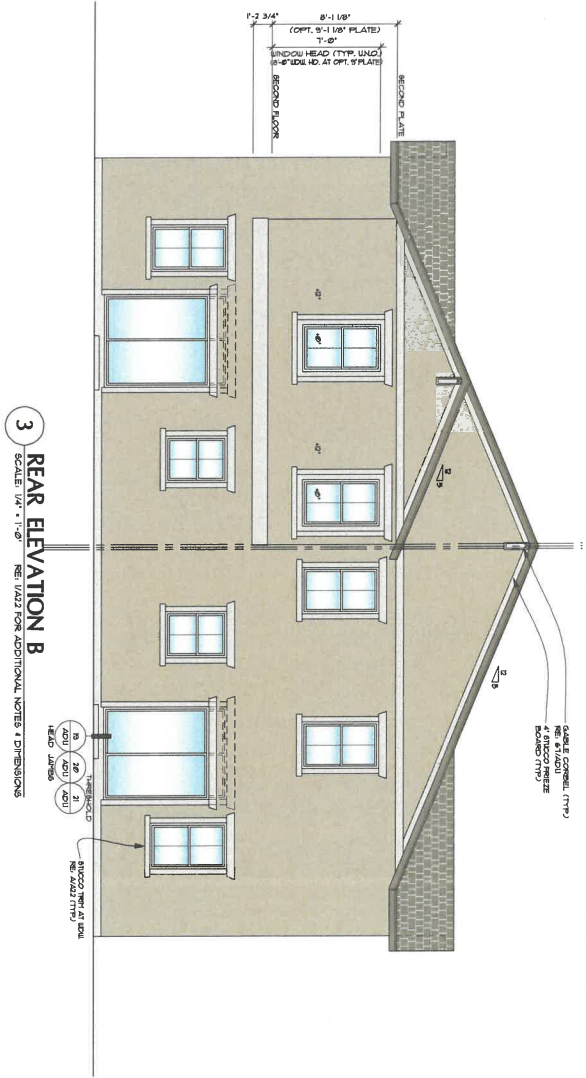
Sheet Number

A2.2

82

CRAFTSMAN COLOR SCHEME

BODY:	SW7518 Beach House
TRIM:	SW6084 Modest White
FASCIA:	SW6084 Modest White
GARAGE DOOR & GATES:	SW6084 Modest White
SHUTTERS/FRONT DOOR:	SW2846 Roycroft Bronze Green
DECORATIVE:	SW6084 Modest White
ROOF TILE:	Saxony Blend IPAT S3233
EXTERIOR STONE:	Mountain Lodge Champagne



Justin Borzich
Qualified Employee

RICHMOND
AMERICAN HOMES

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DATE: 04/12/2024

Revisions:

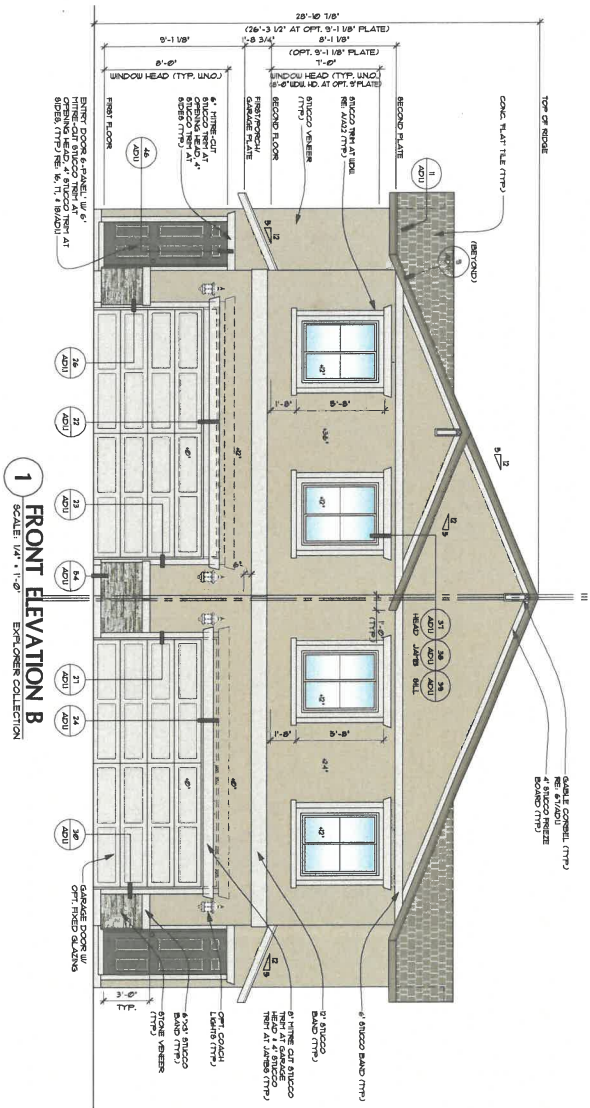
SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN II)
CLARK COUNTY

Plan Number:
L960

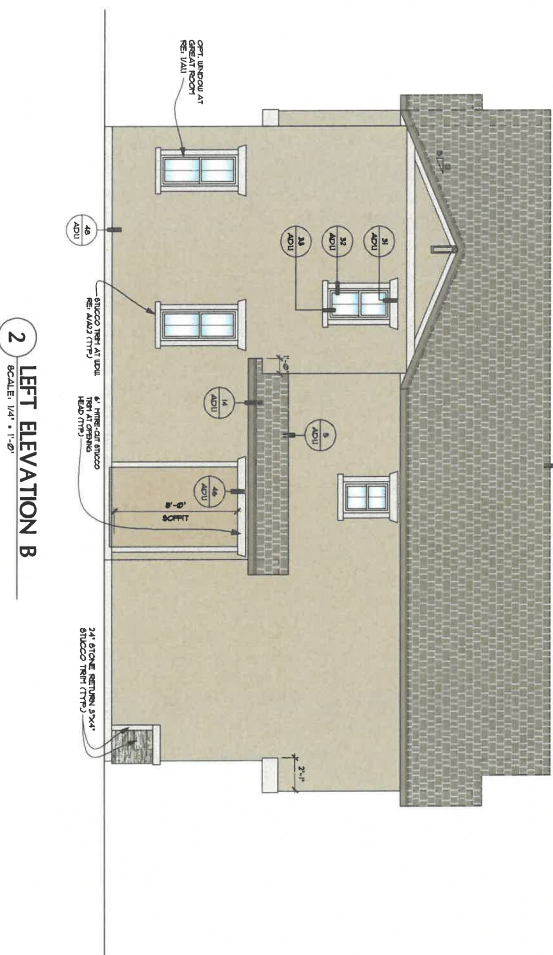
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Sheet Title:
ELEVATION B

Sheet Number:
A22



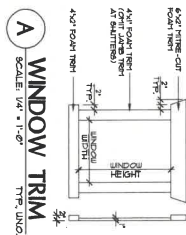
1 FRONT ELEVATION B
SCALE: 1/4" = 1'-0" EXPLORER COLLECTION



2 LEFT ELEVATION B
SCALE: 1/4" = 1'-0"

ALL MATERIALS LISTED HEREON ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
ROOFING MATERIAL TO BE USED: AIA ROYAL ROOFING, CONCRETE ROOF TILE (E83-01) (2008 USC).
STUCCO MATERIAL TO BE USED: CHRYSLER WALL STUCCO.
STONE MATERIAL TO BE ENVIRONMENTAL STONEWARES MANUFACTURED BY: STONE VARIATIONS (E83-306) (2002).

TEXT: 04/23/20 ARE LISTED WIDTH X DEPTH



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Justin Bozarth,
Qualified Employee

**SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN II)
CLARK COUNTY**

Plan Name: **ALDER DUO**

Sheet Title:

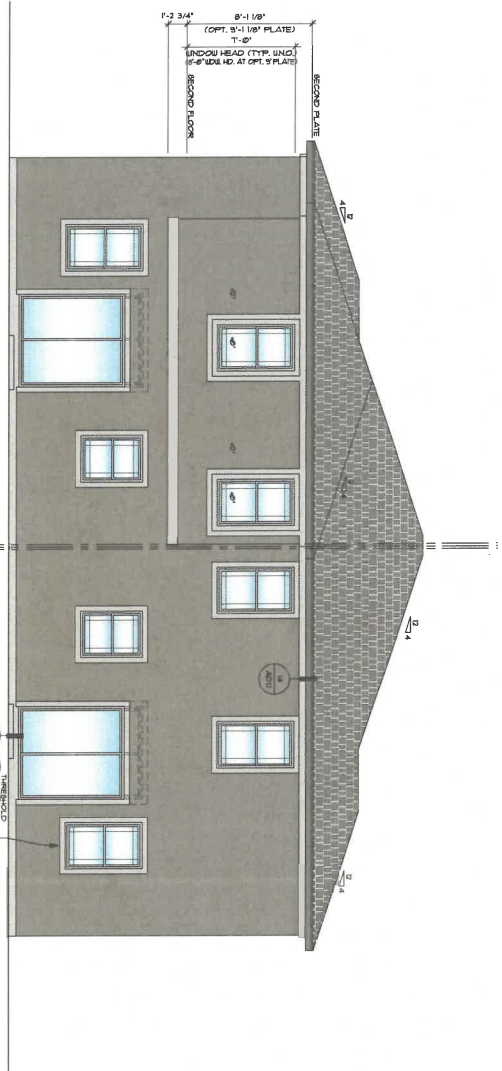
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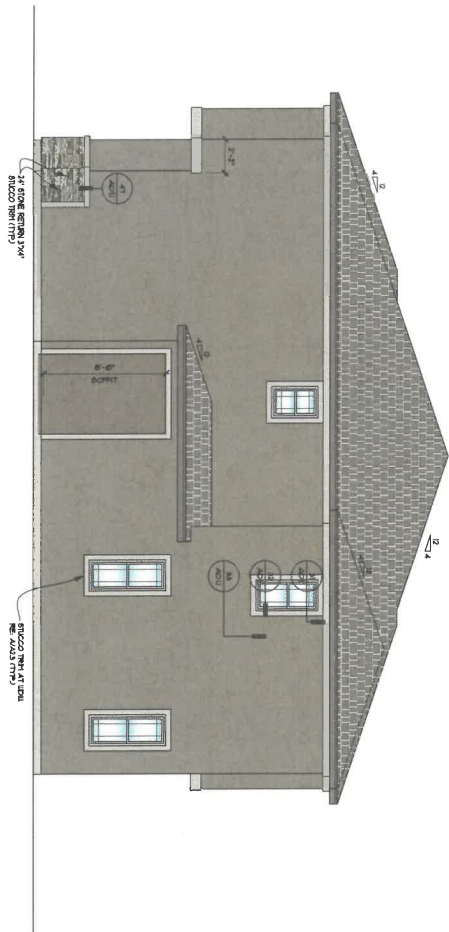
A2.2

3





3 REAR ELEVATION C
SCALE: 1/4" = 1'-0" REF: 1/2,3 FOR ADDITIONAL NOTES & DIMENSIONS



RIGHT ELEVATION C
SCALE: 1/4" = 1'-0" RE: 1/423 FOR ADDITIONAL NOTES & DIMENSIONS

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Qualified Employee



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Date: 04/27/2014

Revisions:

Date: 04/12/2014

Revisions

**SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN II)
CLARK COUNTY**

0967

Plan Name:

ALDER DUO

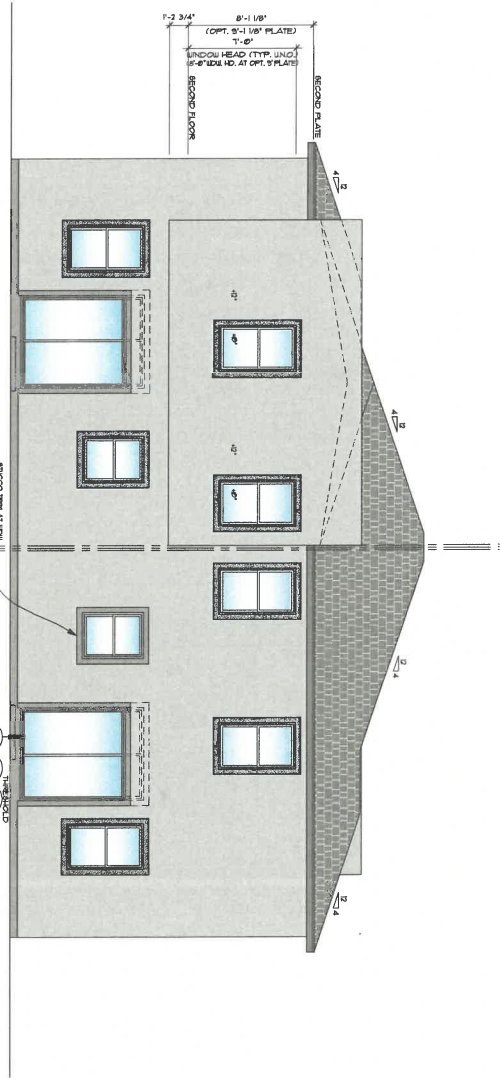
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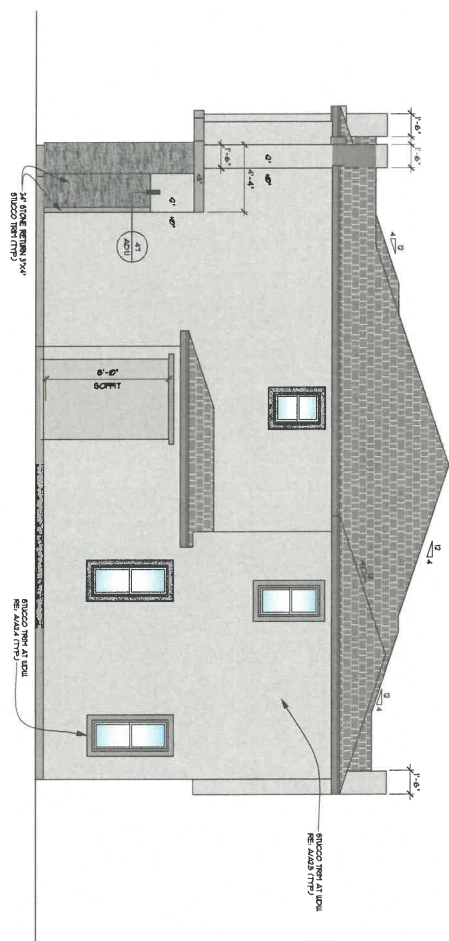
Sheet Number:

A2.3

5



3 REAR ELEVATION D
SCALE: 1/4" = 1'-0"
SEE 1/424 FOR ADDITIONAL NOTES & DIMENSIONS



4a RIGHT ELEVATION D
SCALE: 1/4" = 1'-0"
SEE 1/424 FOR ADDITIONAL NOTES & DIMENSIONS

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Justin Bazzani
Qualified Employee

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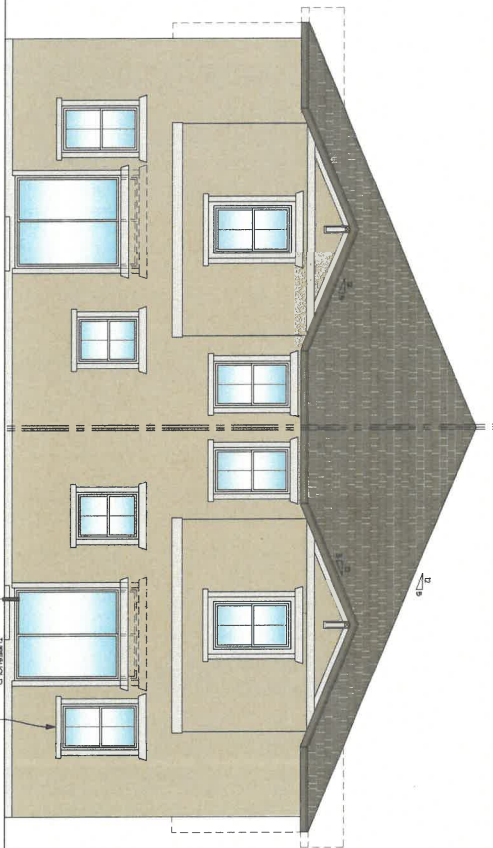
SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN II)
CLARK COUNTY

Plan Number:
L960

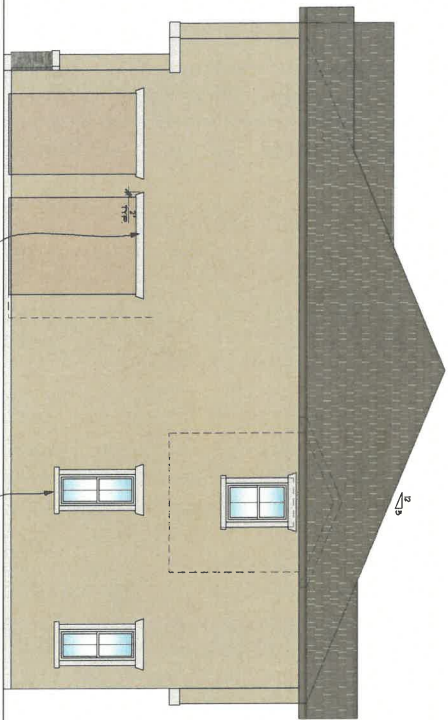
Plan Name:
ALDER DUO

Sheet Title:
ELEVATION D

Sheet Number:
A24
b



3 REAR ELEVATION B
SCALE: 1/4" = 1'-0" REF: 1022 FOR ADDITIONAL NOTES & DIMENSIONS



4a RIGHT ELEVATION B
SCALE: 1/4" = 1'-0" REF: 1022 FOR ADDITIONAL NOTES & DIMENSIONS

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Las Vegas, NV 89119 (702) 638-4400

Justin Rozarh
Qualified Employee

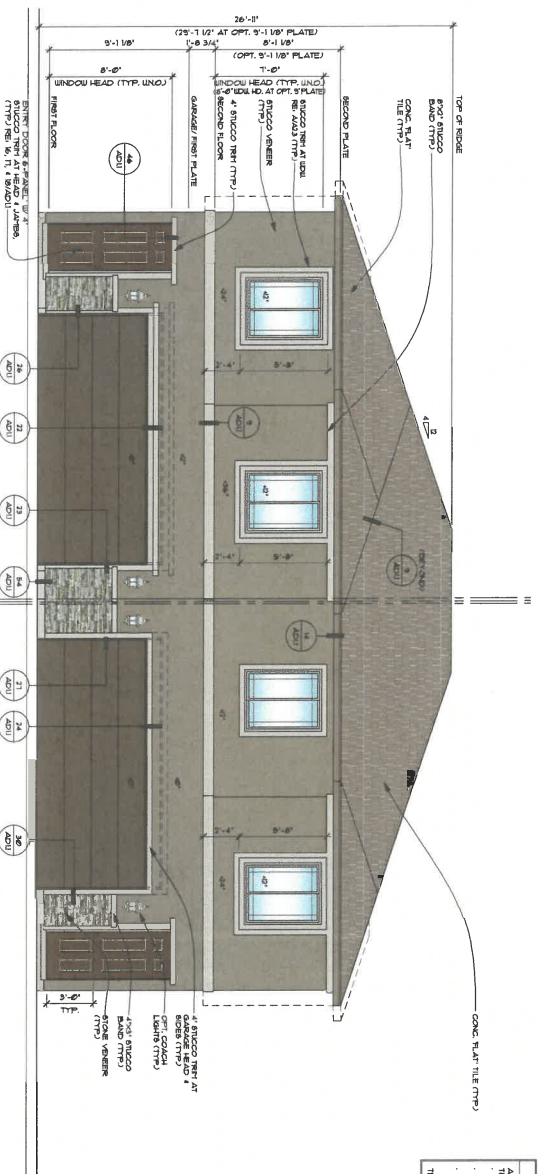
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Date: 04/27/2024
Revisions:

SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN ID)
CLARK COUNTY

Plan Name:
LANTANA DUO

Sheet Title:
ELEVATION B

Sheet Number:
A2.2
b



A WINDOW TRIM
SCALE: 1/4" = 1'-0"
TYP. UNO

ELEVATION NOTES

- ALL MATERIALS LISTED BELOW ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
- ROOFING MATERIAL TO BE MEYLETAE ROYAL ROOFING CONCRETE ROOF TILE (E8-41) (2008 ISC)
- STUCCO MATERIAL TO BE OPTIMA (E8-102)
- STONE MATERIAL TO BE INDIAN-PORTAL STONE/SPRUE6 MANUFACTURED STONE VENEER (E8-396) (2008 ISC)

THAT SIZES ARE LISTED WIDTH X DEPTH

Justin Bozarth,
Qualified Employee



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Date: 04/12/2024

Revisions:

**SEASONS AT
PEWTER VALLEY
(PYLE - HAVEN II)
CLARK COUNTY**

Plan Name:

LANTANA DUO

Sheet Title:

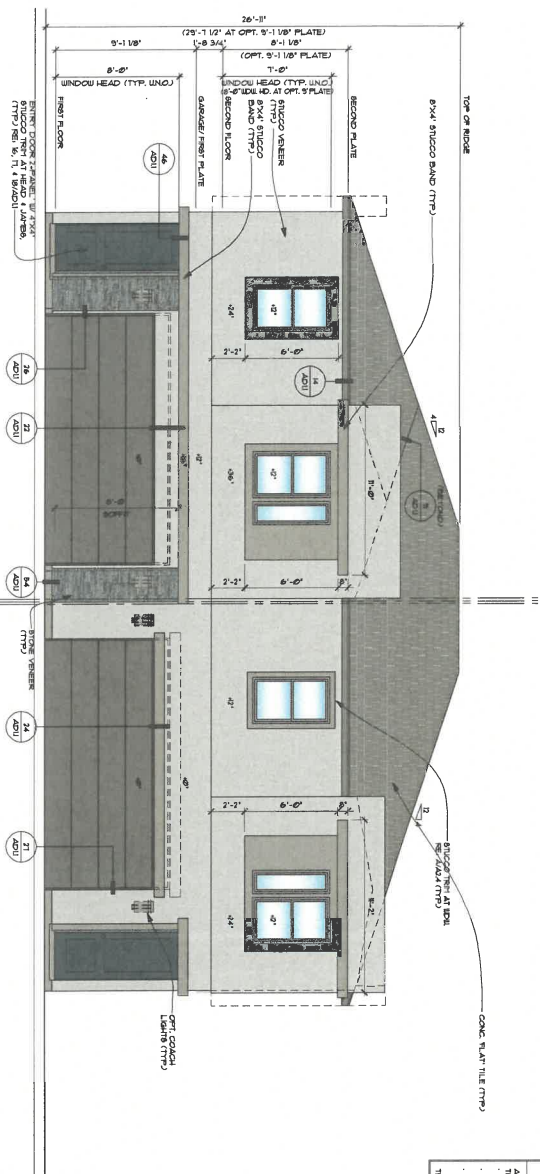
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Sheet Number:

A2.3

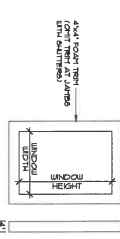
3

STUCCO TRIM AT WOOD
RE: WAJ3 (TTP)



A WINDOW TRIM
SCALE: 1/4" = 1'-0"
TYP. UNO

ALL MATERIALS LISTED BELOW ARE TO BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS.
ROOFING MATERIAL TO BE 30-YEAR ASPH/FLT ROOFING.
CONCRETE ROOF TILE (E83.41 (7/20) INC).
ROOFING UNDERLAYMENT TO BE 30-YEAR ROOFING WALL.
GUTTER VENEER (C83.41 (7/20) INC).
STONE MATERIAL TO BE VINYL-COMPOUND STONE
MANUFACTURED STONE VENEER (E83.41 (7/20) INC).
TERRAZZO ARE LISTED WIDTH X DEPTH



RICHMOND.
AMERICAN HOMES

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Justin Bozarth,
Qualified Employee

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**SEASONS AT
PEWTER VALLEY**
(PYLE - HAVEN II)
CLARK COUNTY

Plan Name:
LANTANA DUO

Sheet Title:

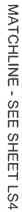
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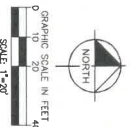
9

LS1

[illegible]

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PLANTING LEGEND



Call before you dig
Add overhead power
lines to your map
Avoid overhead
utility lines in yards
Call
811
or
Before You
Overhead
Call
1-800-642-2444 1-702-227-2929
CNLY #306-2072

ANN & SAN MATEO
"BELLA COPIA"
PREPARED FOR
RICHMOND AMERICAN
OF NORTH LAS VEGAS NEVAD

ENTITLEMENT
LANDSCAPE PLAN

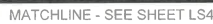
KHA PROJECT 291400042	
DATE 03/26/2025	
SCALE AS SHOWN	
DESIGNED BY CLB	
DRAWN BY CLB	
CHECKED BY MAP	DATE: 3/26/25



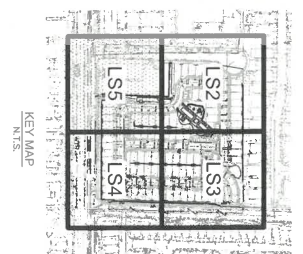
Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
6671 LAS VEGAS BOULEVARD S., SUITE 320
LAS VEGAS, NV 89119
WWW.KIMLEY-HORN.COM
PHONE: 702-862-7600

No.	REVISIONS	DATE	BY

10



DESCRIPTION
Decomposed Granite 1/2" Screened, 2" Depth, Color to Match Adjacent Development
Artificial Turf - Artificial Grass Superstore - Kid Play or Approved Equal
PIP Rubberized Fall Surfacing Flex Ground or Approved Equal
Sod Turf Grass



KEY MAP
N.T.S.

GRAPHIC SCALE IN FEET
0 10 20 40
SCALE: 1"=20'

Call before you dig
Avoid costly underground utility hits. It's easy. Call 811.

Before You Overhead Call

1-800-642-2444 or 1-702-221-2929

ONLY 8308-20924

ANN & SAN MATEO
"BELLA COPIA"
PREPARED FOR
RICHMOND AMERICAN
OF NORTH LAS VEGAS NEVAD

ENTITLEMENT LANDSCAPE PLAN

KHA PROJECT 291400042	
DATE 03/26/2025	
SCALE AS SHOWN	
DESIGNED BY	CLB
DRAWN BY	CLB
CHECKED BY	MAP



Kimley»Horn
© 2024 KIMLEY-HORN AND ASSOCIATES, INC.
6671 LAS VEGAS BOULEVARD S., SUITE 320
LAS VEGAS, NV 89119
WWW.KIMLEY-HORN.COM
PHONE: 702-862-3600

No.	REVISIONS	DATE	BY



- 1 16x16 Ramada with BBQ and Trash
Receptacle
- 2 35x20' Ramada with BBQs and Trash
Receptacle
- 3 Cornhole/Bags Area
- 4 Turf or Artificial Turf Play Area
- 5 Playground Area with 2-5 Tot Lot, 5-12
Playground, and Accessible Play
- 6 Landscape Bench
- 7 Dog Park with Double-Gated Entry and
View Fencing
- 8 Dog Station



NOTES

This map is for assessment use only and does NOT represent a survey.
No liability is assumed for the accuracy of the data delineated herein.
Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.
This map is compiled from official records, including surveys and deeds, but only contains the information required for assessment. See the recorded documents for more detailed legal information.
USE THIS SCALE EFFECT WHEN MAP REDUCED FROM 11X17 ORIGINAL

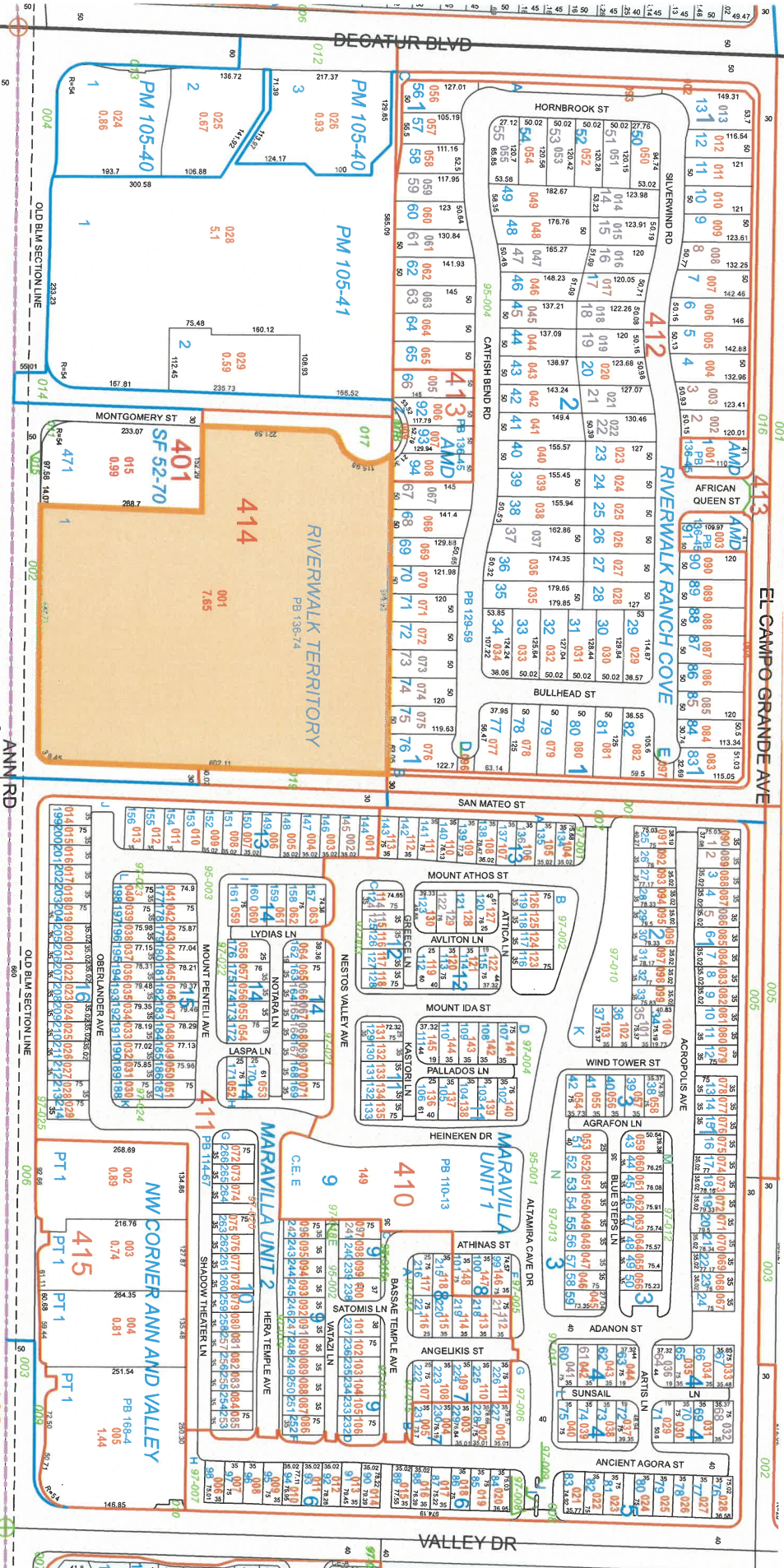
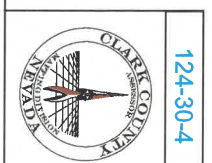
MAP LEGEND

- PARCEL BOUNDARY
- SUB BOUNDARY
- CONDOMINIUM UNIT
- AIR SPACE PCL
- RIGHT OF WAY PCL
- ROAD EASEMENT
- MATCH / LEADER LINE
- HISTORIC LOT LINE
- HISTORIC SUB BOUNDARY
- HISTORIC PMLD BOUNDARY
- SECTION LINE

ASSESSOR'S PARCELS - CLARK CO., NV.

Briana Johnson - Assessor

BOOK	T19S R61E	SEC.	30	MAP	S 2 SW 4
99 100	101 102	26 125	124 123	37 138	139 140
100 101	101 102	162 161	162 161	162 161	162 161

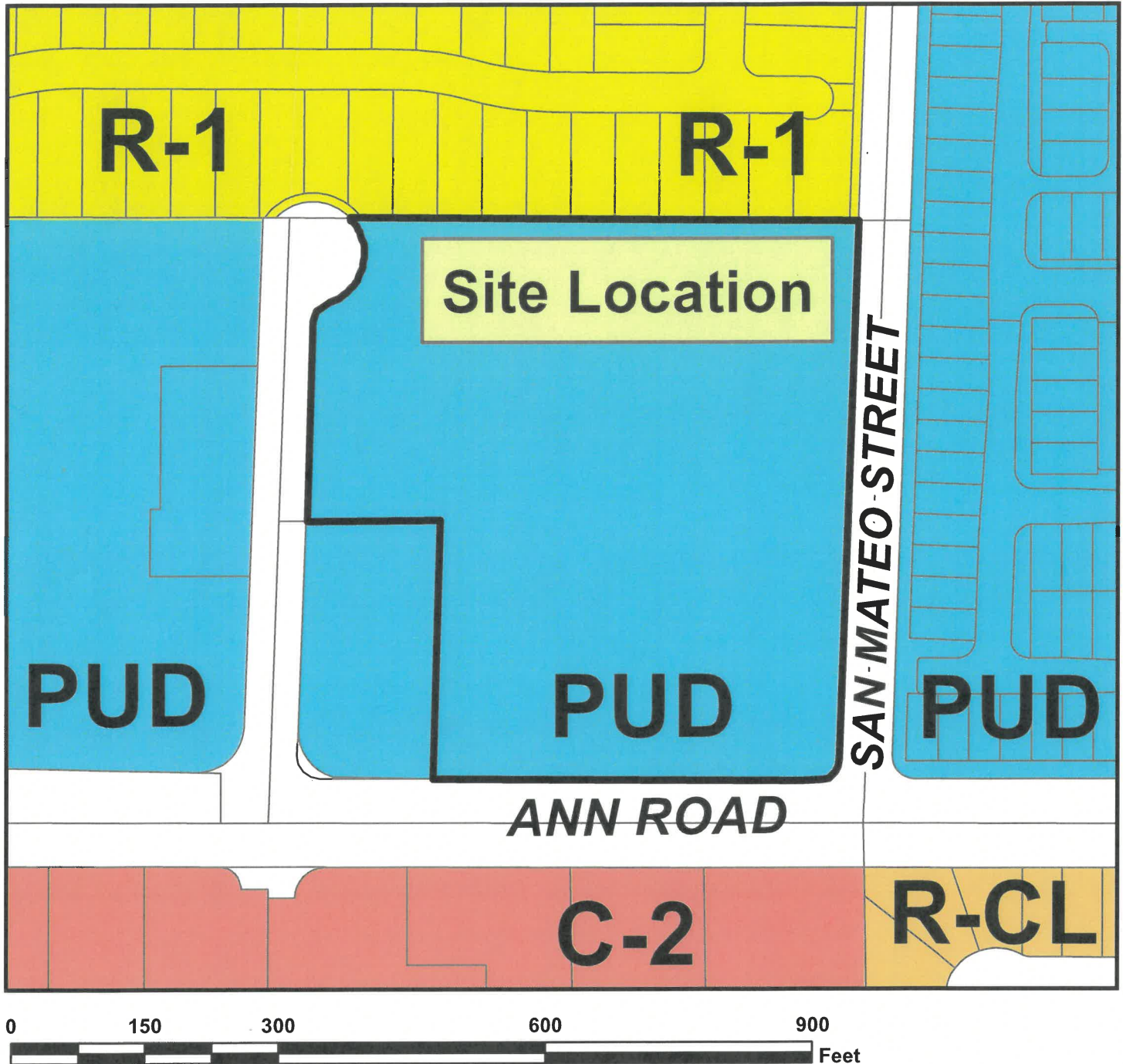


TAX DIST 250



THE CITY OF NORTH LAS VEGAS

Location & Zoning Map



Applicant: Richmond American Homes
Application: Final Development Plan
Request: To Develop an Eighty-Four (84) Lot, Single-Family Subdivision
Project Info: Northwest Corner of Ann Road and San Mateo Street
Case Number: FDP-01-2025

4/07/2025

