

# CITY OF NORTH LAS VEGAS

## INTEROFFICE MEMORANDUM

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To: Sharianne Dotson, Planner, Land Development & Community Services  
From: Jimmy Love, Major Projects Coordinator, Department of Public Works  
Subject: SPR-01-2022 EOT **Pecos & Rome Apartments**  
Date: March 12, 2023

The Department of Public Works has reviewed the application and has no objection to the requested extension of time, subject to the original conditions of approval in SPR-01-2022.

Jimmy Love

Digitally signed by Jimmy Love  
DN: C=US,  
E=jlove@cityofnorthlasvegas.com, O=City of  
North Las Vegas, OU=Development & Flood  
Control, CN=Jimmy Love  
Reason: I am the author of this document  
Date: 2024.03.12 16:08:54-07'00'

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Jimmy Love, Major Projects Coordinator  
Department of Public Works

# CITY OF NORTH LAS VEGAS

## INTEROFFICE MEMORANDUM

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To: Amy Michaels, Principal Planner, Land Development & Community Services  
From: Duane McNelly, Land Development Coordinator, Department of Public Works  
Subject: SPR-01-2022 **Pecos & Rome Apartments**  
Date: February 07, 2022

Department of Public Works, Traffic Engineering has reviewed the subject parking study in support of the reduction of two parking spaces and has no objection to the waiver.

In addition to the requirement to comply with the *City of North Las Vegas Municipal Code – Titles 15 and 16, NRS 278* and accepted *Clark County Area Uniform Standard Drawings*, the Department of Public Works recommends the following conditions of approval:

1. All known geologic hazards shall be shown on any preliminary development plans and civil improvement plans submitted to the City. Subsequent identification of additional hazards may substantially alter development plans
2. Approval of a drainage study is required prior to submittal of the civil improvement plans. Conformance may require modifications to the site plan.
3. The size and number of access points and their locations are subject to review and approval by the City of North Las Vegas Traffic Engineer and must meet the standards set forth in *North Las Vegas Municipal Code* section 17.24.040; Conformance may require modifications to the site.
4. All driveway geometrics shall be in compliance with the *Uniform Standard Drawings for Public Works' Construction Off-Site Improvements* Drawing Numbers 222.1
5. The public street geometrics and thickness of the pavement sections will be determined by the Department of Public Works.
6. Building numbering shall be in accordance with the North Las Vegas Street Naming and Address Assignment Standards.
7. The proposed driveway on Pecos Road shall be right in – right out only.
8. Dedication and construction of the following streets and/or half streets is required per the *Master Plan of Streets and Highways* and/or *City of North Las Vegas Municipal Code* section 16.24.100:
  - a. E. Rome Blvd.
  - b. N. Pecos Road (including a raised median)

9. A revocable encroachment permit for landscaping within the public right of way is required.
10. The property owner is required to grant a roadway easement for commercial driveway(s).
11. The property owner is required to grant a public pedestrian access easement for sidewalk located within a common element, or on private property, when that sidewalk is providing public access adjacent to the right-of-way. (Granted per separate document using a Sidewalk Easement).
12. All Nevada Energy easements, appurtenances, lines and poles must be shown and shall be located entirely within the perimeter landscape area of this development. Distribution lines, existing or proposed, shall be placed underground if impacted by the proposed development of the parcel or if the pole impedes upon the proper ADA clearances for sidewalk. Under no circumstances will new down guy wires be permitted.

Utilities – For information only:

- This project shall comply with the General Provisions and Conditions of the *City of North Las Vegas Water Service Rules and Regulations* and the *Design and Construction Standards for Wastewater Collection Systems*.
- Submittal of a Hydraulic Analysis per the *Uniform Design and Construction Standards (UDACS) for Potable Water Systems* is required and will be subject to the review and approval of the Utilities Department.

For more information regarding the land development, process and other associated requirements in the City of North Las Vegas, please visit the City's website and find the **Land Development Guide**:  
<http://www.cityofnorthlasvegas.com/Departments/PublicWorks/PublicWorks.shtm>.

  
Duane McNelly, Land Development Coordinator  
Department of Public Works



Real Property Management  
1180 Military Tribute Place  
Henderson, NV 89074

## School Development Tracking Form

<http://facilities.ccsd.net/departments/real-property-management/>

Date Filed 01/28/2022 Application Number SPR-000001-2022 Entity NLV

Company Name Kaempfer Crowell

Contact Name \_\_\_\_\_

Contact Mailing Address \_\_\_\_\_

City \_\_\_\_\_

State \_\_\_\_\_

Zip Code \_\_\_\_\_

Phone (702) 792-7048 Mobile \_\_\_\_\_

Fax \_\_\_\_\_

Email \_\_\_\_\_

Project Name Pecos & Rome Apartments

Project Description 100 Multi-Family Units

APN's 124-24-801-006

Student Yield	Elementary School	Middle School	High School
Single-Family Units (1) 100	x 0.166 = 17	x 0.093 = 9	x 0.131 = 13
Multi-Family Units (2)	x 0.139 = 0	x 0.065 = 0	x 0.074 = 0
Resort Condo Units (3)			
Total	17	9	13

(1) Single Family unit is defined as single family detached home, mobile home, and townhouse.

(2) Multi-Family unit is defined as apartment, multiplexes, and condominiums.

(3) Resort Condominium units for tracking purposes only.

\*To be completed by CCSD

Schools Serving the Area*					
Name	Address	Grade	Capacity	Enrollment	Site Date
Duncan ES*	250 W. Rome Blvd	K-5	642	631	1/10/2022
Hayden ES*	150 W. Rome Blvd	K-5	664	750	1/10/2022
Johnston MS	5855 Lawrence St.	6-8	1486	1237	1/10/2022
Legacy HS	150 W. Deer Springs Way	9-12	2367	2793	1/10/2022

\* CCSD Comments Hayden ES and Legacy HS are over capacity for the 2021-2022 school year. Hayden ES is at 112.95% and Legacy HS is at 118.00% of program capacity.  
\*The elementary schools share an attendance boundary.

☐ Approved

☐ Disapproved

February 23, 2024

**VIA ELECTRONIC UPLOAD**

COMPREHENSIVE PLANNING DEPARTMENT  
2250 Las Vegas Blvd. North  
North Las Vegas, Nevada 89106

**Re:     *Justification Letter – First Extension of Time for SPR-01-2022***  
***APN: 124-24-801-006***

To Whom It May Concern:

This firm represents the Applicant in the above referenced matter. The Applicant is seeking a first extension of time for approved entitlements for property located at the southeast corner of Rome Boulevard and Pecos Road (the "Property"). The Property is more particularly described as Assessor's Parcel Number 124-24-801-006.

By way of background, on March 9, 2022, the North Las Vegas Planning Commission approved ZN-02-2022 rezoning the Property from M-1 to R-3. Also, at the same planning commission hearing, the North Las Vegas Planning Commission approved companion item SPR-01-2022 allowing for the development of 100-unit multi-family development. The Applicant is seeking a first extension of time for SPR-01-2022 to allow for the multi-family development. An extension of time is appropriate for the following reasons:

- This is the first extension of time.
- There have not been any substantial changes in the area.
- Immediately to the west is an approved and developed multi-family development.
- Pecos Road is designed to accommodate higher density residential development.
- The trend is for residential development along Rome Boulevard west of Pecos Road.

Therefore, the Applicant respectfully request a two-year extension of time. Thank you in advance for your consideration. Please do not hesitate to let me know if you have any questions or concerns.

Sincerely,

KAEMPFER CROWELL

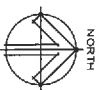
A handwritten signature in blue ink, appearing to read "Anthony J. Celeste", with a long horizontal flourish extending to the right.

Anthony J. Celeste





## PLANT | LEGEND

[illegible]

# PRELIMINARY LANDSCAPE PLAN

# PECOS AND ROME

S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA

C & M RESIDENTIAL LLC

6430 ARVILLE STREET, LAS VEGAS, NV. 89118



billform architects  
group  
of nevada, inc.  
11650 north cove creek road, suite  
phoenix, arizona 85028  
Phone 602.285.6290 Fax 602.285.

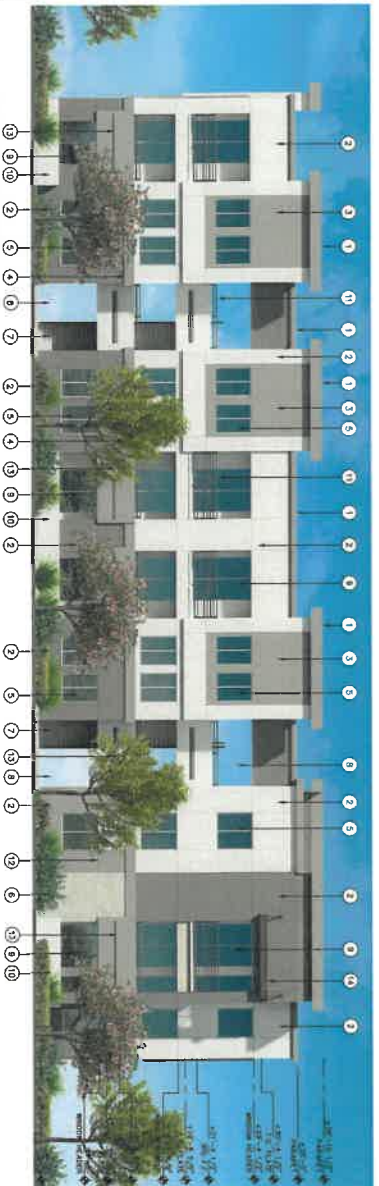
**biltform**  
architecture

## PL 1.1

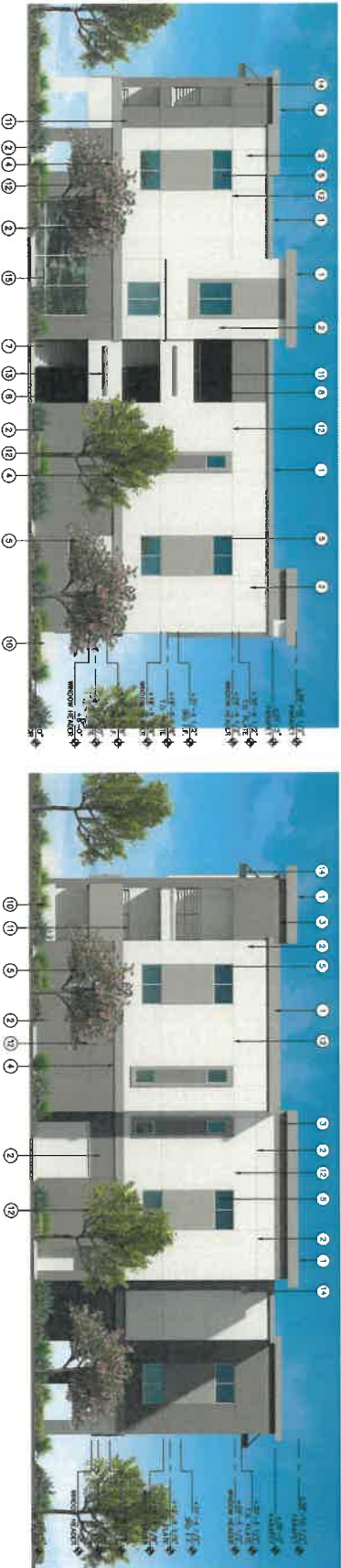


ELEVATION KEY NOTES: 7	
1.	TOP OF FINISHER
2.	STUCCO STRIP
3.	PAVE WOOD PLANK FINISH SYSTEM
4.	STUCCO ROOF-JOINT
5.	ALUMINUM WINDOW
6.	BRICK VENT
7.	STUCCO BRICK
8.	STUCCO BRICK
9.	ALUMINUM SLIDING GLASS DOOR
10.	STUCCO PANTO LOW WALL @ 4'-6"
11.	METAL GUARDRAIL AT 4'-6"
12.	STUCCO CONTROL JOINT
13.	STUCCO AT STUCCO BALCONY WALL FOR
14.	METAL CLAMP
15.	STUCCO CONTROL JOINT SYSTEM
16.	EXTENSION BRACK FINISH SYSTEM
17.	CONCRETE GARAGE DOOR
18.	ENTRY DOOR

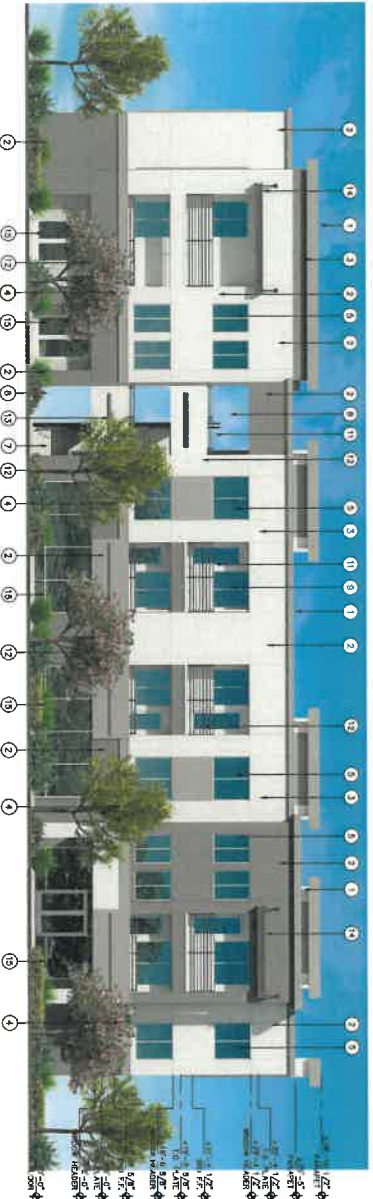
FRONT ELEVATION



SIDE ELEVATION



FRONT ELEVATION



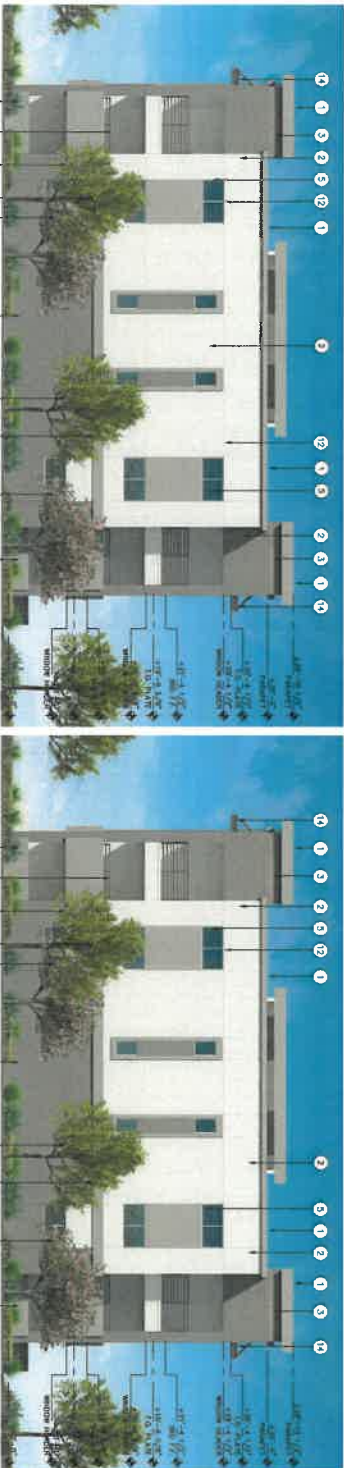
# PECOS AND ROME APARTMENT HOMES

C & M RESIDENTIAL LLC

BUILDING #1  
COLOR ELEVATIONS  
N.T.S.

DR1  
01-24-2022

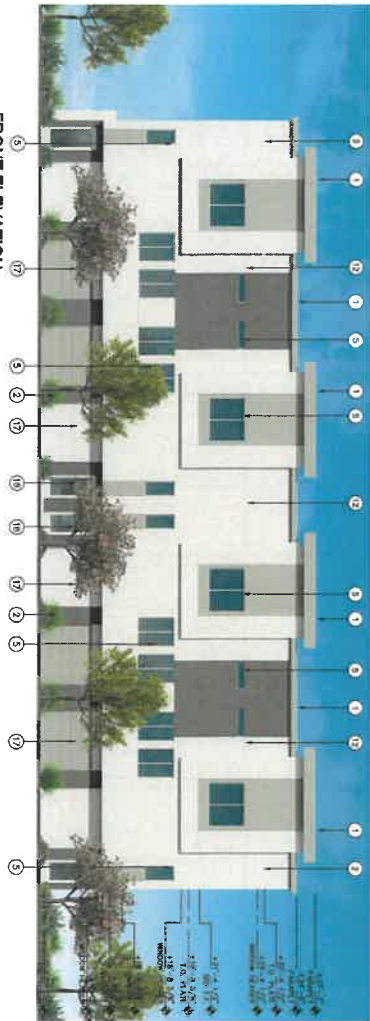
ELEVATION KEY NOTES: ①	
1.	TOP OF PARADEY
2.	STUCCO SYSTEM
3.	FAUX WOOD PLANK FINISH SYSTEM
4.	STUCCO POP-OUT
5.	ALUMINUM WINDOW
6.	BRICK VENTILATOR
7.	STAINLESS STEEL
8.	OPEN BREASTING
9.	ALUMINUM SLIDING GLASS DOOR
10.	STUCCO PATIO LOW WALL @ 4'-2"
11.	METAL DOWNPIPE AT 4'-2"
12.	STUCCO DOWNPIPE, CONT.
13.	SCAFFOLD AT STUCCO BALCONY WALL FOR FINISHING
14.	METAL CANYON
15.	STAINLESS STEEL WINDOW SYSTEM
16.	EXTENSION DOWN FINISH SYSTEM
17.	OVERHEAD STAIRCASE DOOR
18.	ENTRY DOOR





ELEVATION KEY NOTES: ①	
1.	TOP OF PARADET
2.	STUCCO SYSTEM
3.	PAINT WOOD PLANK TRIM SYSTEM
4.	STUCCO ROOF-SOIT
5.	ALUMINUM WINDOW
6.	BRICK VARIETY
7.	STAIRS BRITNO
8.	OPEN BRICKWAY
9.	ALUMINUM SLIDING GLASS DOOR
10.	STUCCO RAINWALL WALL @ 4-5"
11.	METAL CLIMBING, AT 4-5"
12.	STUCCO CONTROL JOINT
13.	SCAFFOLD AT STUCCO BALCONY WALL FOR
14.	METAL CLIMBING
15.	STONERWORK MASON SYSTEM
16.	EXTENSION STONE TRIM SYSTEM
17.	CHIMNEY CORNER DOOR
18.	ENTRY DOOR

FRONT ELEVATION



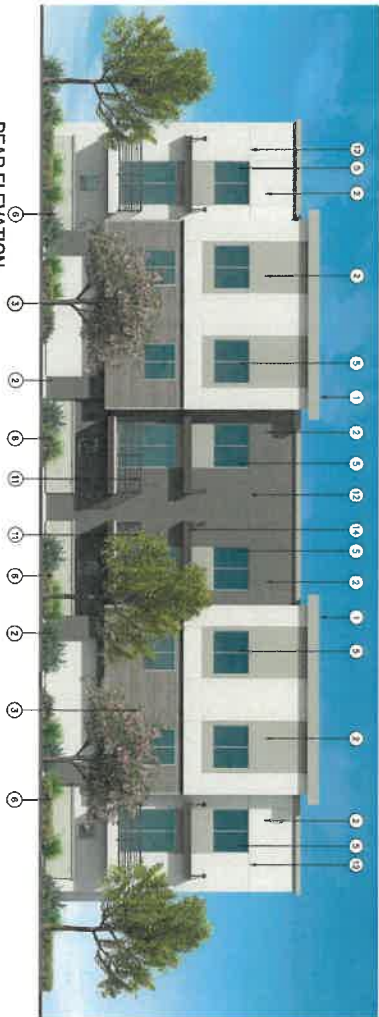
SIDE ELEVATION



SIDE ELEVATION



REAR ELEVATION



# PECOS AND ROME APARTMENT HOMES

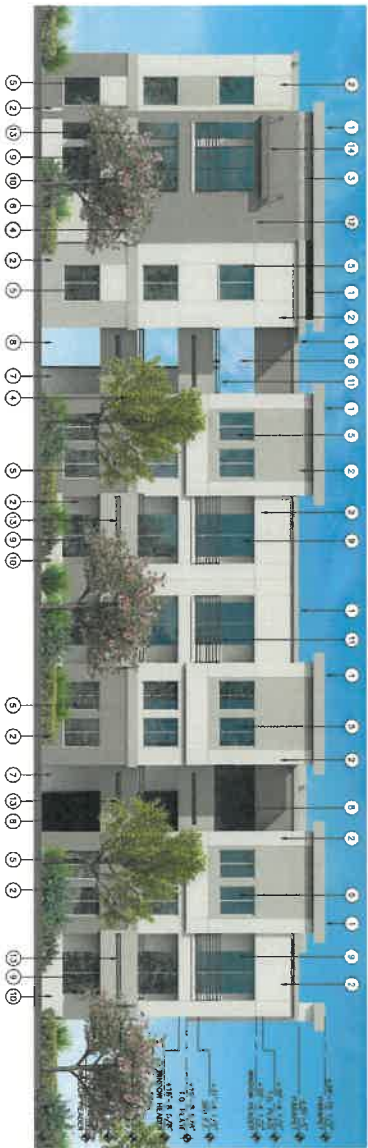
C & M RESIDENTIAL LLC

BUILDING #3  
COLOR ELEVATIONS  
N.T.S.

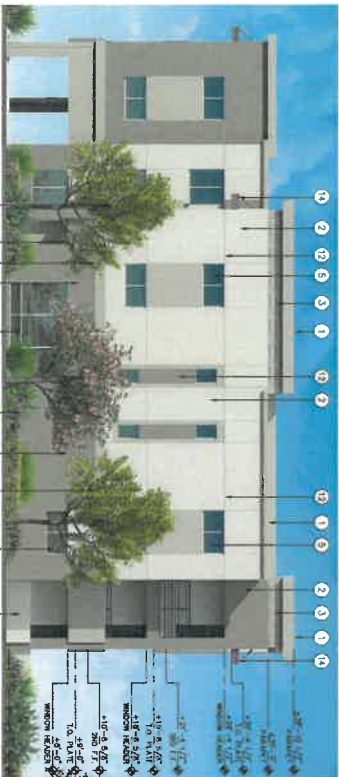
DR3  
01-24-2022

biltform  
architecture

ELEVATION KEY NOTES (7)	
1.	TOP OF PARAPET
2.	STUCCO SYSTEM
3.	PAINT WOOD PLANK FINISH SYSTEM
4.	STUCCO PAPE-OUT
5.	ALUMINUM WINDOW
6.	BRICK VENEER
7.	STAIRS BRICK
8.	OPEN BRICKWORK
9.	ALUMINUM SLIDING GLASS DOOR
10.	STUCCO PAPE-OUT WALL @ 4-4"
11.	ARTL. STAIRWELL AT 4-4"
12.	STUCCO CONTROL JOINT
13.	STAIRS AT STUCCO BALCONY WALL FOR
14.	BRICK CANOPY
15.	STAIRWELL WINDOW SYSTEM
16.	EXTREME STAIR FINISH SYSTEM
17.	OVERHEAD GARAGE DOOR
18.	ENTRY DOOR



FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION

# PECOSA AND ROME APARTMENT HOMES

C & M RESIDENTIAL LLC

BUILDING #4  
COLOR ELEVATIONS  
N.T.S.

DR4  
01-24-2022

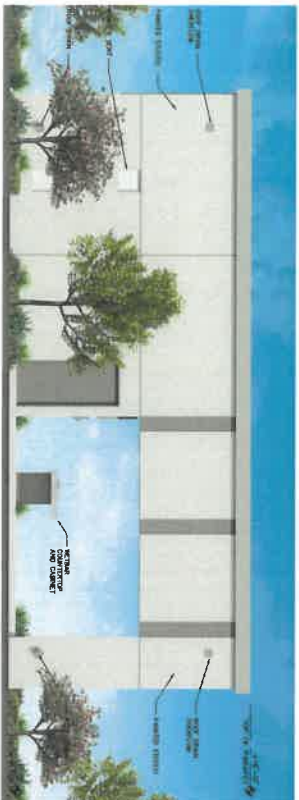
biltform  
architecture

# PECOS AND ROME APARTMENT HOMES

C & M RESIDENTIAL LLC

CABANA  
COLOR ELEVATIONS  
N.T.S

DR5  
01-24-2022



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION





Stucco Body Color 1/Doors - **SW7011 Natural Choice**



Metal Canopies/Doors - **SW6076 Turkish Coffee**



Stucco Body Color/Trim - **SW0077 Classic French Grey**



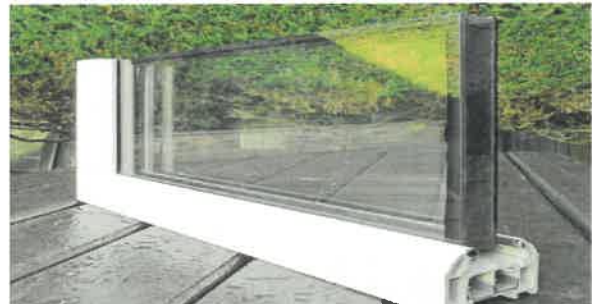
Stone Veneer - **Coronado Texas Rumble Texas Cream**



Stucco Body Color/Railing - **SW7674 Peppercorn**



Faux Wood Siding - **Woodtone RusticSeries Lap River Rock**



Window / Storefront Frames / Carports - **White**

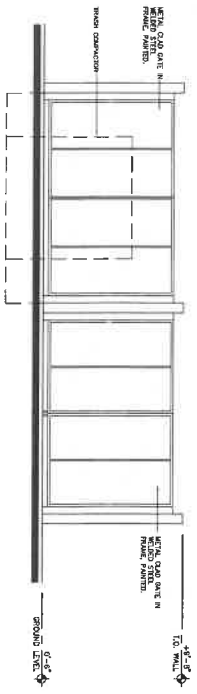
**BUILDING MATERIALS AND  
COLOR EXHIBIT**

**Pecos and Rome**  
21-076

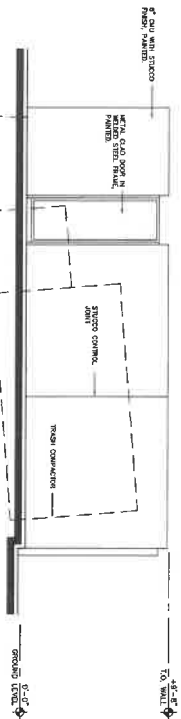


11460 north cave creek road . suite 11  
phoenix . arizona . 85020  
phone 602.285.9200 . fax 602.285.9229

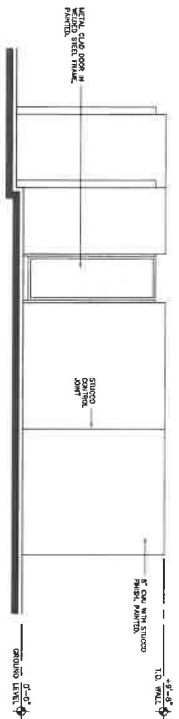




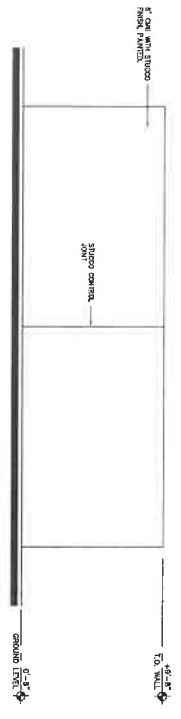
A FRONT ELEVATION



B LEFT ELEVATION

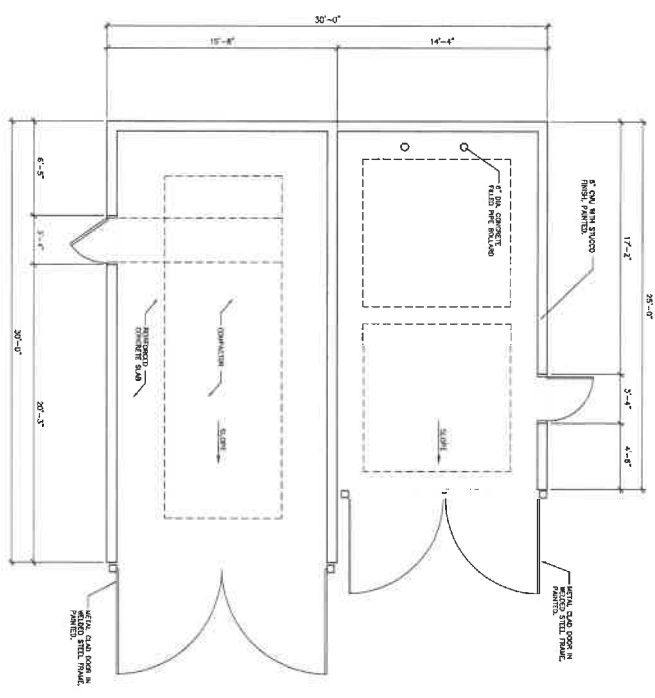


D RIGHT ELEVATION



C REAR ELEVATION

2 COMPACTOR AND RECYCLE ENCLOSURE ELEVATION  
SCALE: 1/4" = 1'-0"



1 COMPACTOR AND RECYCLE ENCLOSURE PLAN  
SCALE: 1/4" = 1'-0"



biltform  
Group  
of Nevada, Inc.  
11400 Lake View Drive, Suite 100  
Las Vegas, NV 89134  
Phone (702) 331-1200 Fax (702) 331-1202

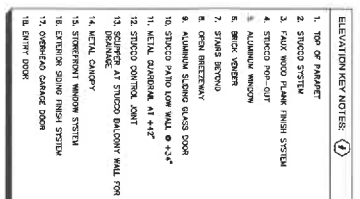
PRELIMINARY  
NOT FOR  
CONSTRUCTION

**PECOS AND ROME**  
Apartment Homes  
S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA  
**C & M RESIDENTIAL LLC**  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118

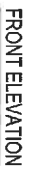
REVISIONS	DATE	BY	APP'D
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2			
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4			
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7			
8			
9			
10			

A7.2





builtform architect  
 Group  
 of nevada, inc.  
 11410 north cove creek road, apt. 1  
 phoenix, arizona 85020  
 Phone 602/485-8700 Fax 602/735-8621

**biltform**  
architecture

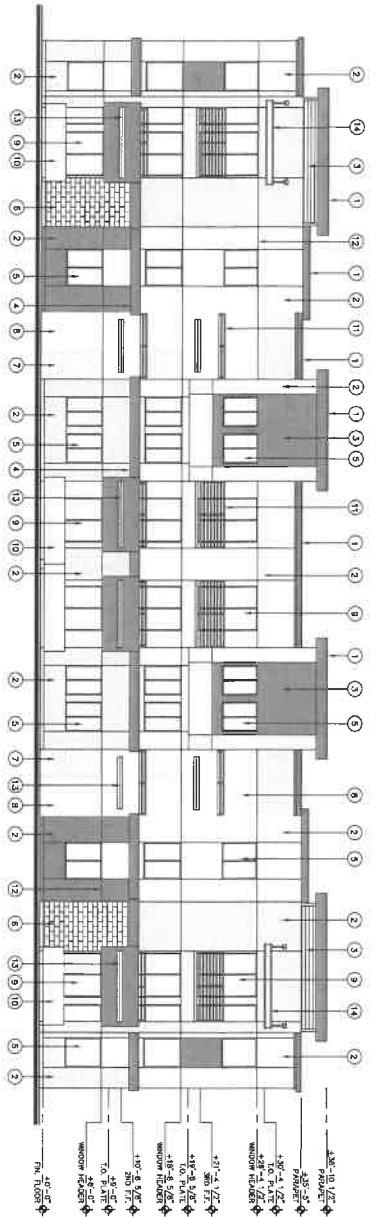
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Apartment Homes  
S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA

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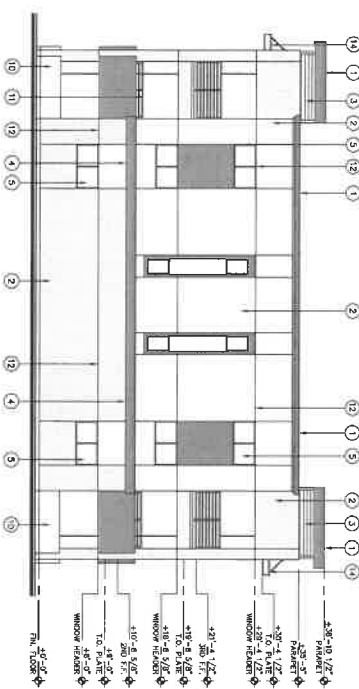
**& M RESIDENTIAL LLC**  
10 ARVILLE STREET, LAS VEGAS, NV. 89118

## A3.2

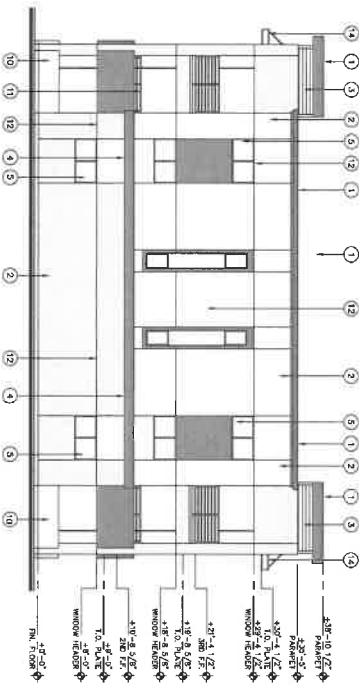
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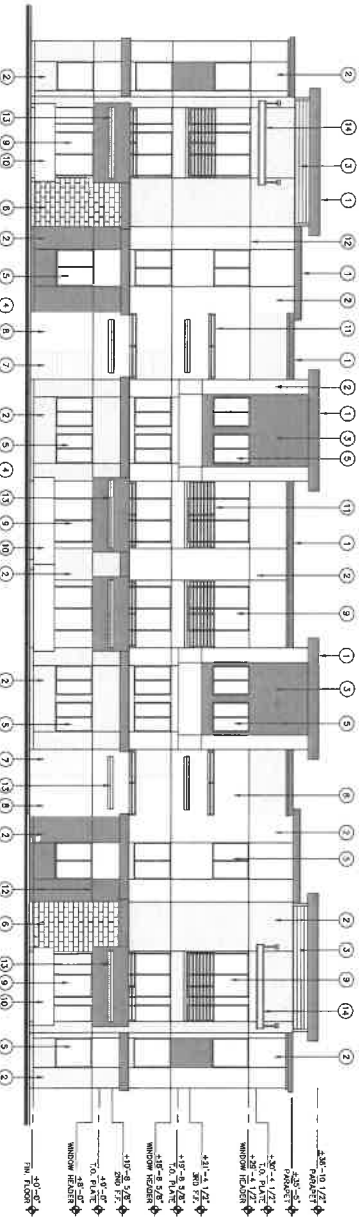
FRONT ELEVATION



SIDE ELEVATION



SIDE ELEVATION



FRONT ELEVATION

- ELEVATION KEY NOTES
1. 10' x 12' PANEL
  2. STUCCO SYSTEM
  3. 1/2" WOOD PLANK FINISH SYSTEM
  4. STUCCO FINISH
  5. ALUMINUM WINDOW
  6. BRICK VENT
  7. STAIRS
  8. ALUMINUM SLIDING GLASS DOOR
  9. STUCCO FINISH
  10. STUCCO FINISH LOW WALL
  11. METAL GLASSHOLE AT +12'
  12. STUCCO FINISH SYSTEM
  13. STUCCO FINISH SYSTEM
  14. METAL GLASSHOLE
  15. STUCCO FINISH SYSTEM
  16. STUCCO FINISH SYSTEM
  17. STUCCO FINISH SYSTEM
  18. ENTRY DOOR

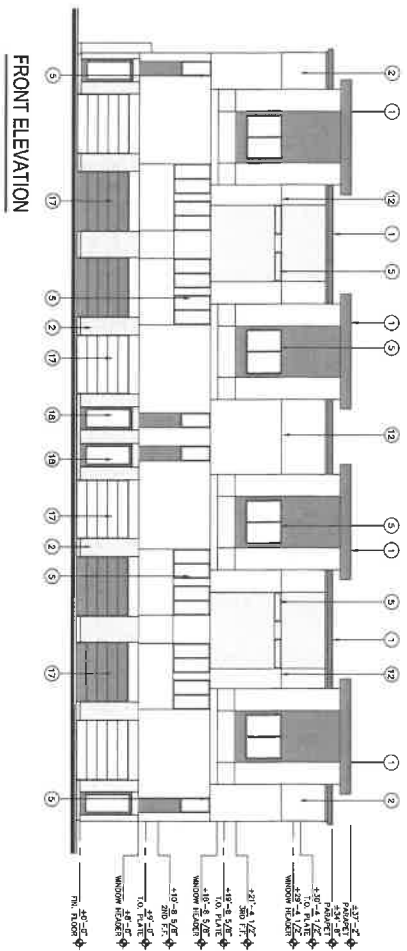
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NOT FOR  
CONSTRUCTION

biltform  
architecture

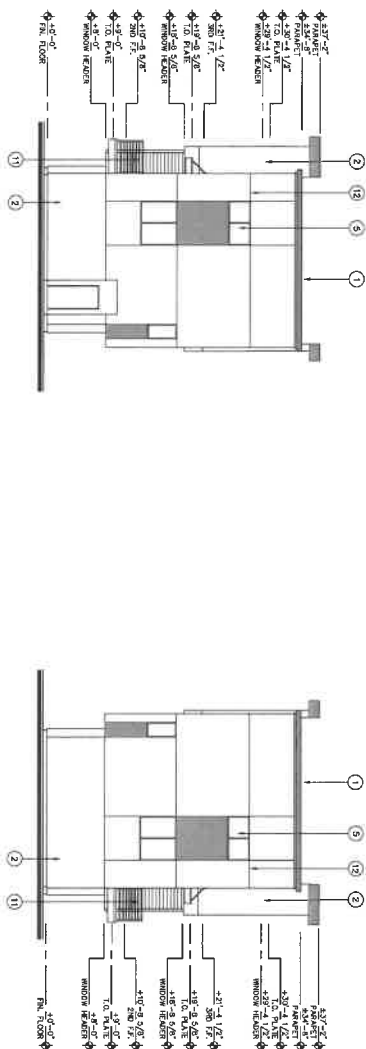
biltform architecture  
of nevada, inc.  
1000 10th Avenue, Suite 100  
Las Vegas, NV 89101  
Phone: 702.251.1000 Fax: 702.251.1001

PECOS AND ROME  
Apartment Homes  
S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA  
C & M RESIDENTIAL LLC  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118

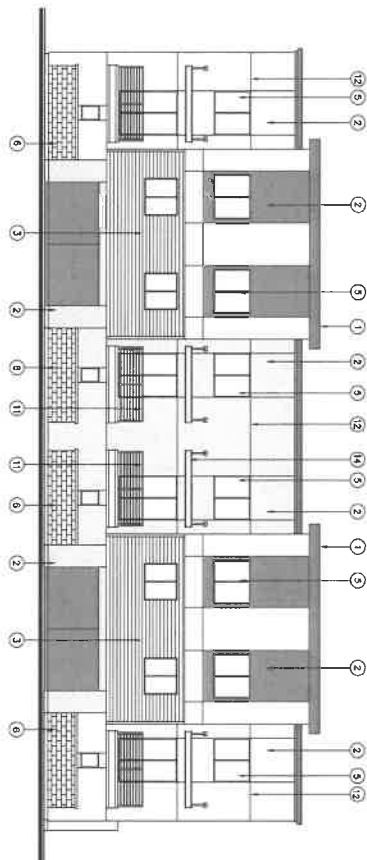
REVISIONS:  
A4.2  
BUILDING 2 ELEVATIONS  
© BILTFORM ARCHITECTURE GROUP, P.C.



**FRONT ELEVATION**



**SIDE ELEVATION**



### REAR ELEVATION

ELEVATION KEY NOTES: **(1)**

1. TOP OF PARAPET
2. STUCCO SYSTEM
3. STUCCO WOOD PLANK FINISH SYSTEM
4. STUCCO TYPED-OUT
5. ALUMINUM WINDOW
6. BRICK VENEER
7. STAIN BEDDING
8. OPEN DRAINAGE
9. ALUMINUM SLAB DOOR
10. STUCCO ALUM LAM. SLAB DOOR + 3/4"
11. METAL GARAGE, AT +1/2"
12. STUCCO CONTROL JOINT
13. SCULPTER AT STUCCO BALCONY WALL FOR PARAPET
14. METAL LANCY
15. STRETCHPOINT WINDOW SYSTEM
16. EXTENSION SOLING FINISH SYSTEM
17. OVERHEAD DRAINAGE DOOR
18. CHERRY DOOR



**blifform architecture  
group  
of nevada, inc.**

11480 north kane creek road, suite 1  
spokane, idaho 83020  
Phone 802.265.8200 Fax 802.265.8201

PRELIMINARY  
NOT FOR  
CONSTRUCTION

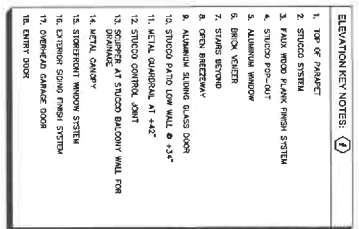
## PECOS AND ROME

S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA

C & M RESIDENTIAL LLC

REMARKS:	
1	
2	
3	
4	
5	
JOB NO:	21-4
DATE:	DECEMBER 16, 20
SCALE:	1" = 1'
SHEET NO:	

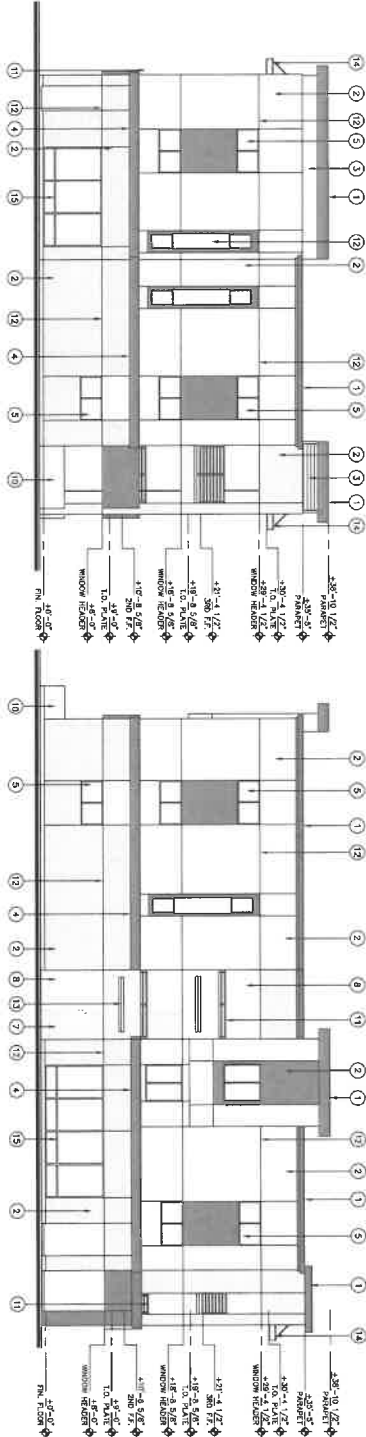
## A5.2 BUILDING 3 ELEVATIONS



**billform architect**  
**group**  
**of nevada, inc.**

11480 north cave creek road, suite 1  
pahrump - nevada 89020  
Phone 602.285.8200 Fax 602.285.9220

### SIDE ELEVATION



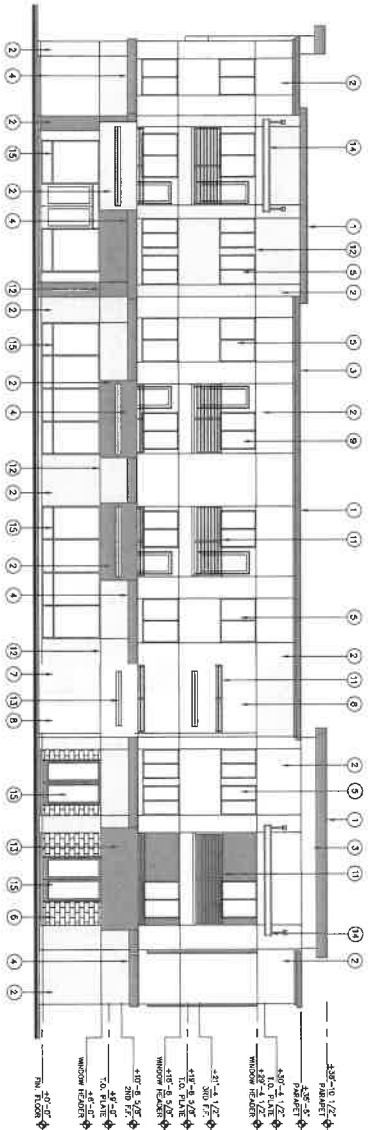
### SIDE ELEVATION

# PECOS AND ROME

## Apartment Homes

5400 S. 24TH AVE. S. PECOS, N.M. 87501 • 505-763-1111

**C & M RESIDENTIAL LLC**  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118



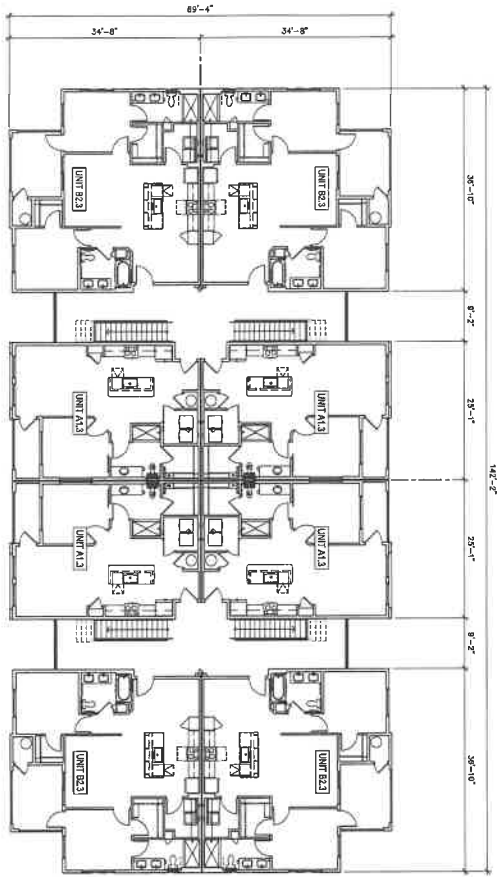
**FRONT ELEVATION**

## A6.2

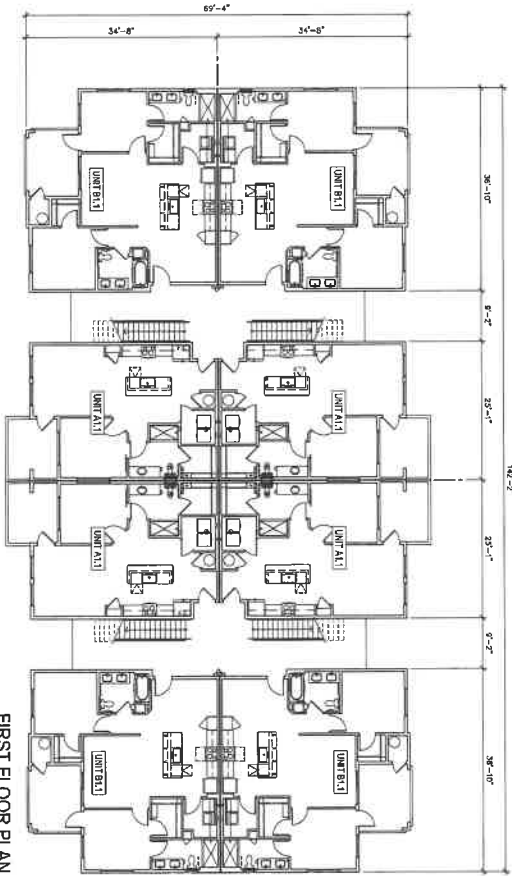
BUILDING 4 ELEVS

REVISIONS:	
1	
2	-
3	-
4	-
5	-
DATE: DECEMBER 14, 2001	
SCALE: 1/8" = 1'	
SHEET NO. 21	

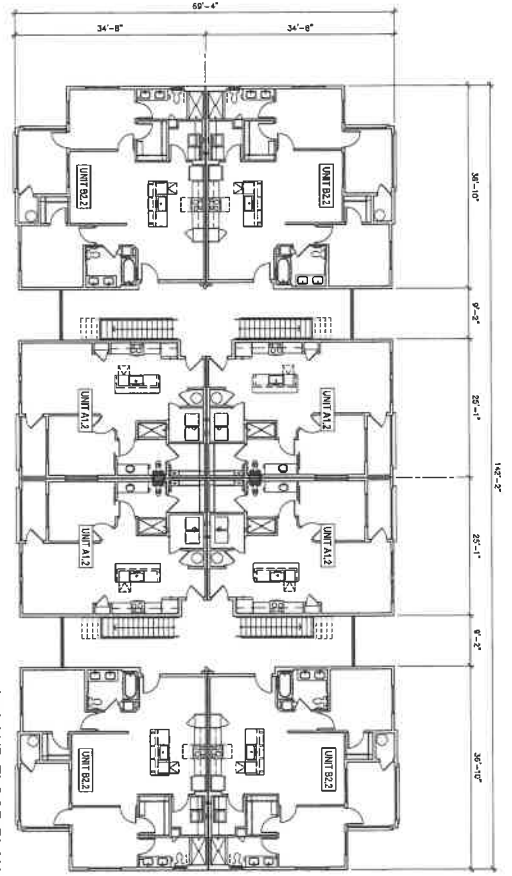
THIRD FLOOR PLAN

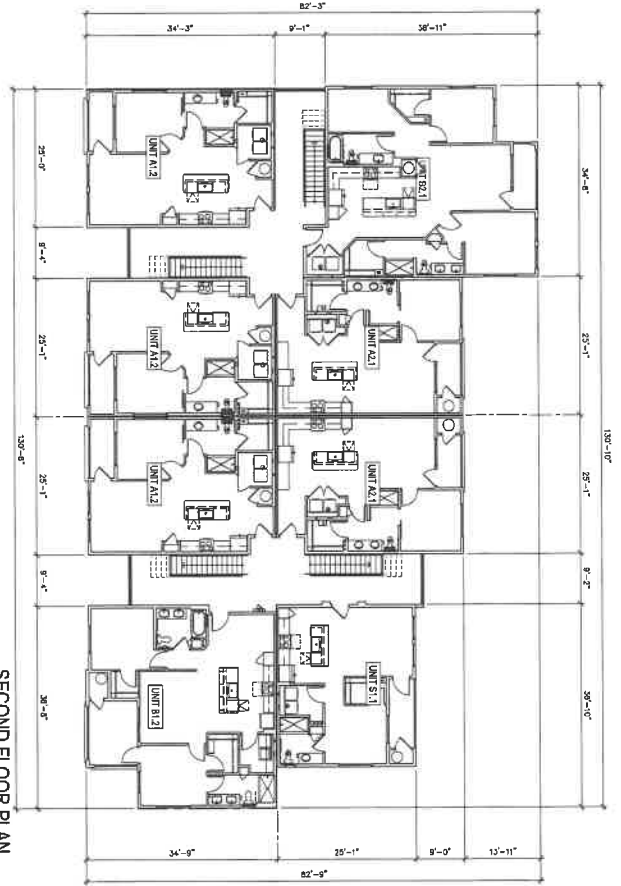
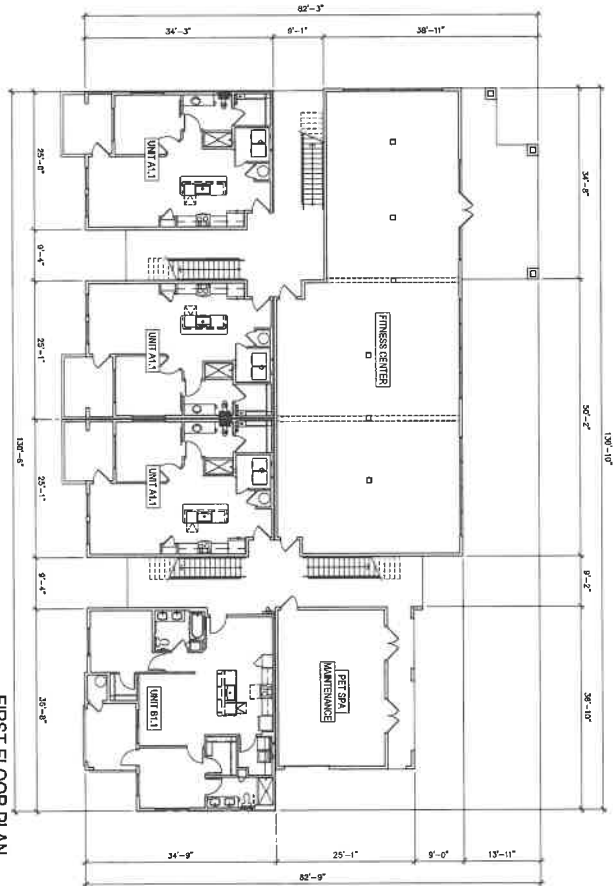
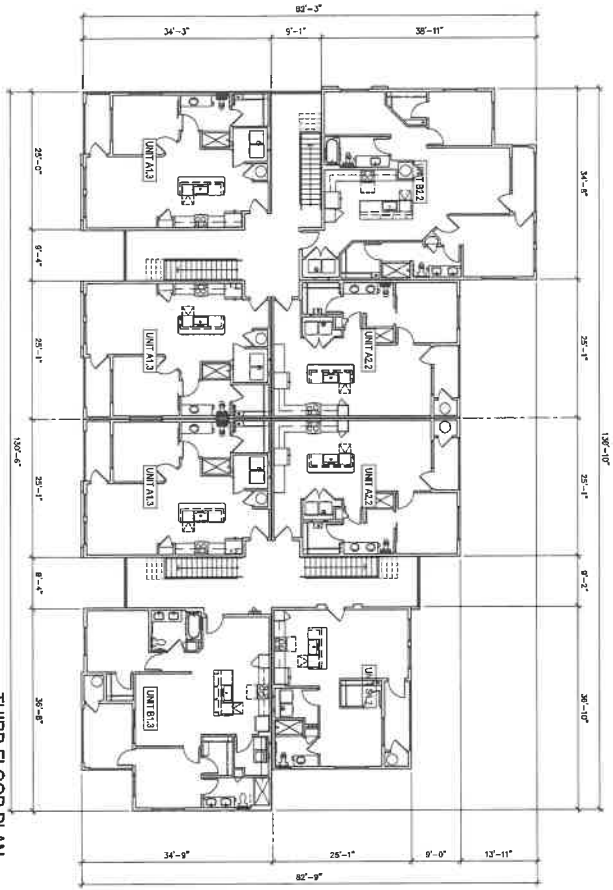


FIRST FLOOR PLAN



SECOND FLOOR PLAN





# **PECOS AND ROME** Apartment Homes S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA **C & M RESIDENTIAL LLC** 6430 ARVILLE STREET, LAS VEGAS, NV. 89118

PRELIMINARY  
NOT FOR  
CONSTRUCTION

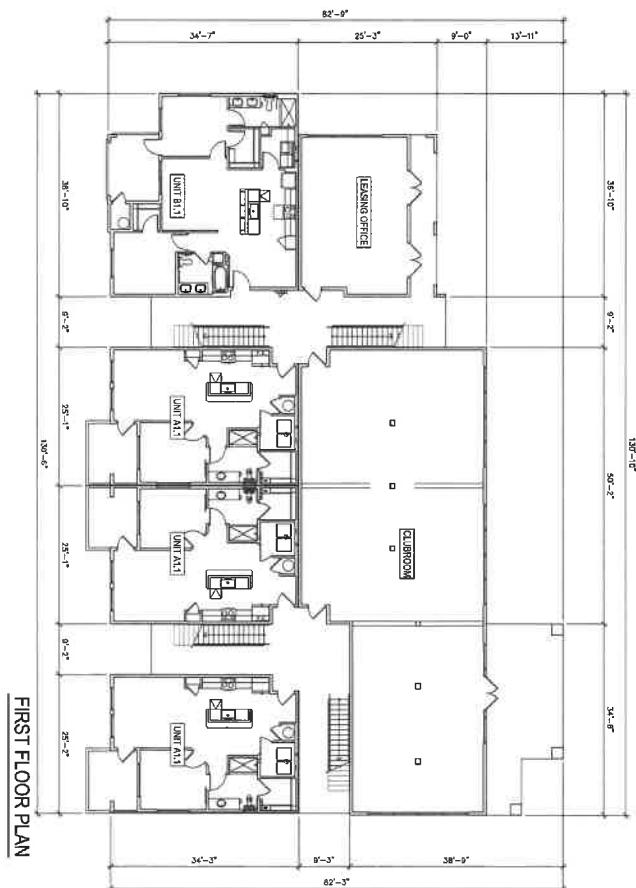
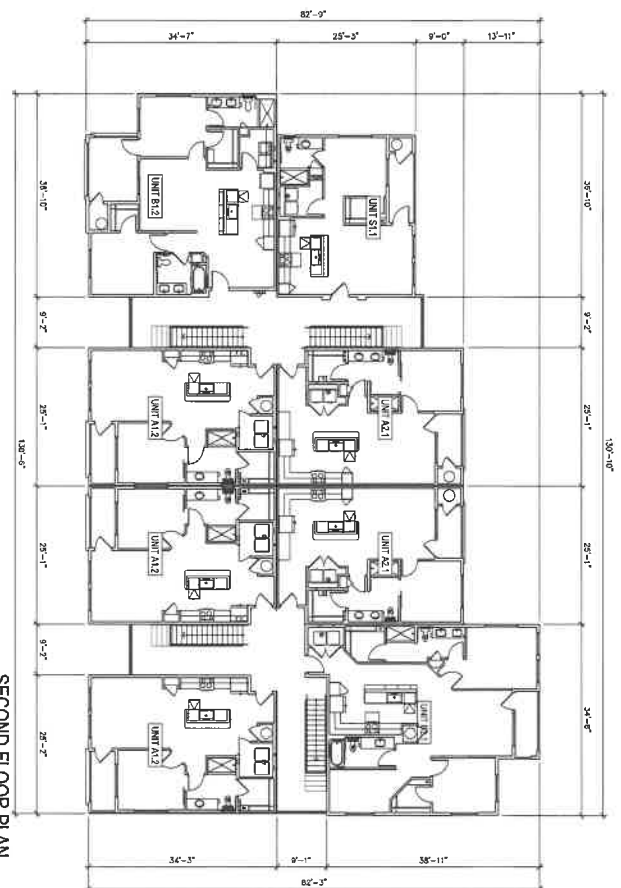
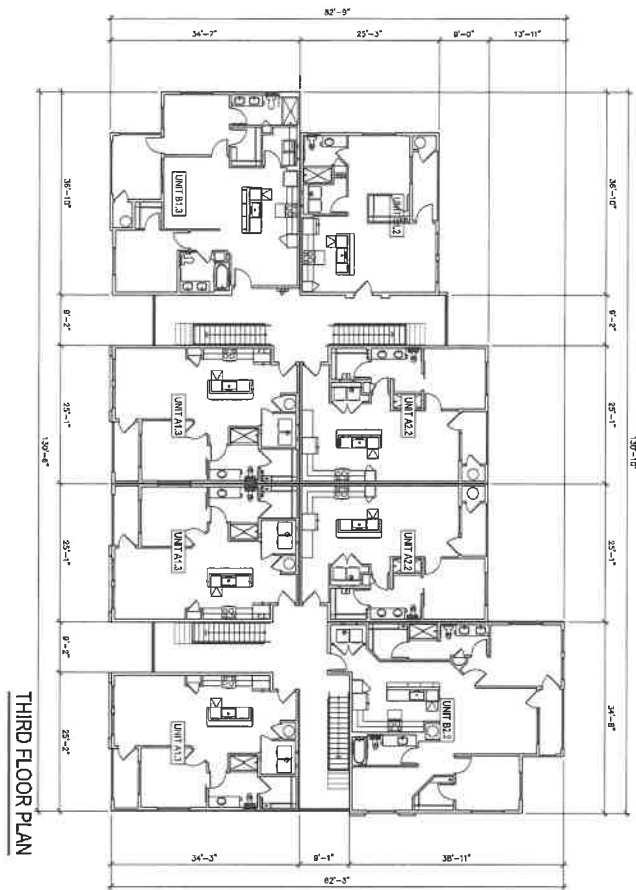
biltform architectur  
of nevada, inc.  
1400  
P.O. Box 1400  
Las Vegas, NV 89102  
Phone 702.382.0000 Fax 702.382.0002

**biltform**  
architecture

**A3.1**  
BUILDING 1 PLANS  
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PRELIMINARY  
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CONSTRUCTION

**biltform**  
architecture

billform architect  
group  
of nevada, inc.  
1460 north cove creek road, suite  
phoenix, arizona 85020

Phone 672.286.9700 Fax 672.285.4000

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# PECOS AND ROME

S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA

**C & M RESIDENTIAL LLC**  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118

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JAN 1971	21.4
DATE	DECEMBER 16, 21
SCALE	1" = 1'
SHEET NO.	

# A6.1





biltform  
architecture  
Group  
of Nevada, Inc.  
1900 20th Street, Suite 100, Las Vegas, NV 89102  
Phone: (702) 382-5000 Fax: (702) 382-5001

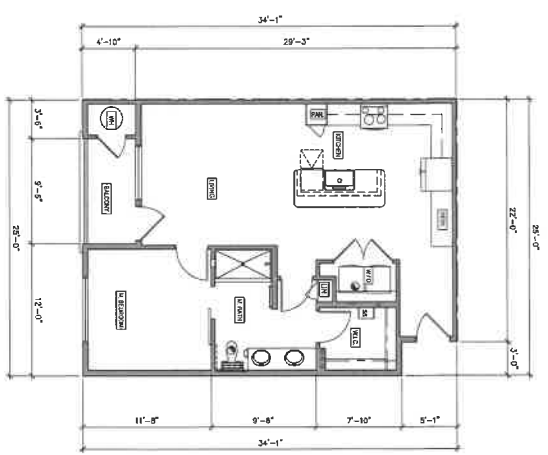
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NOT FOR  
CONSTRUCTION

**PECOS AND ROME**  
Apartment Homes  
S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA  
**C & M RESIDENTIAL LLC**  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118

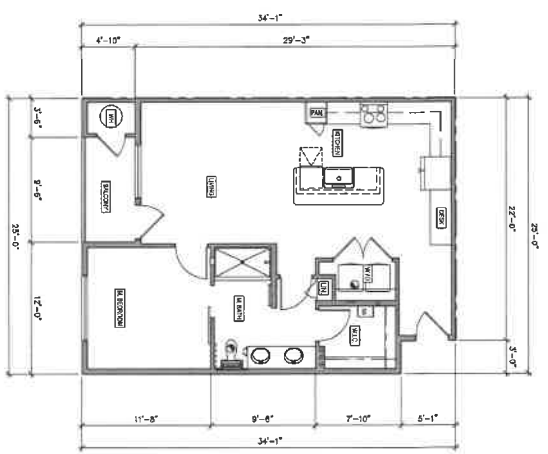
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**A2.1**  
UNIT PLANS

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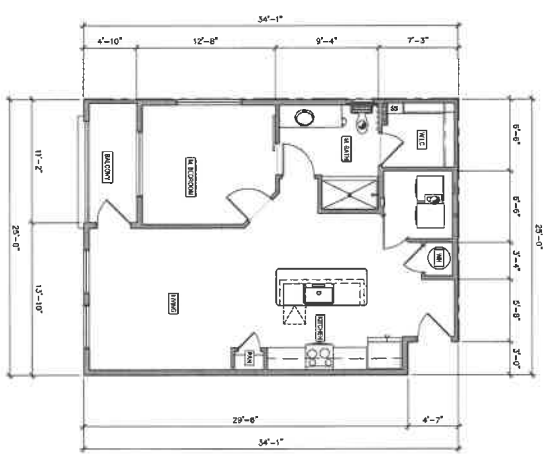
UNIT A2.1  
2ND FLOOR  
PART 04.1 S.F.



UNIT A2.2  
2ND FLOOR  
PART 04.1 S.F.



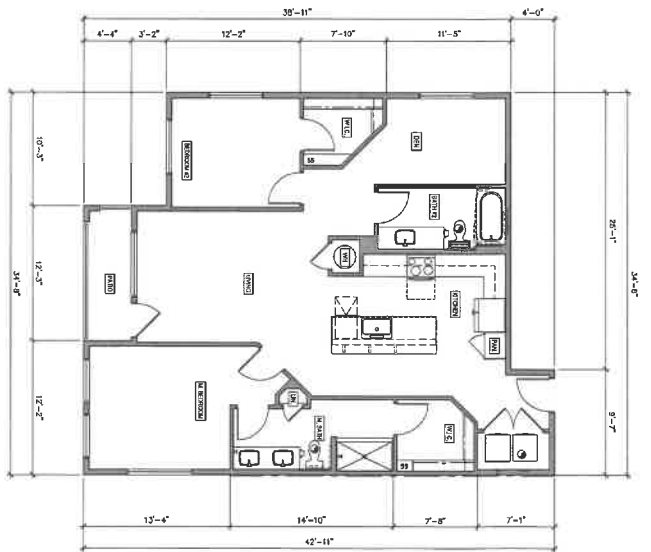
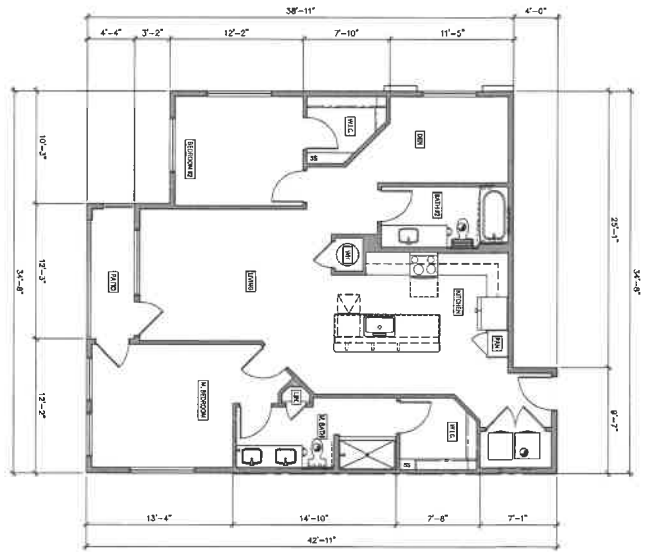
UNIT A1.1  
2ND FLOOR  
PART 10.9 S.F.



UNIT A1.2  
2ND FLOOR  
PART 04.7 S.F.

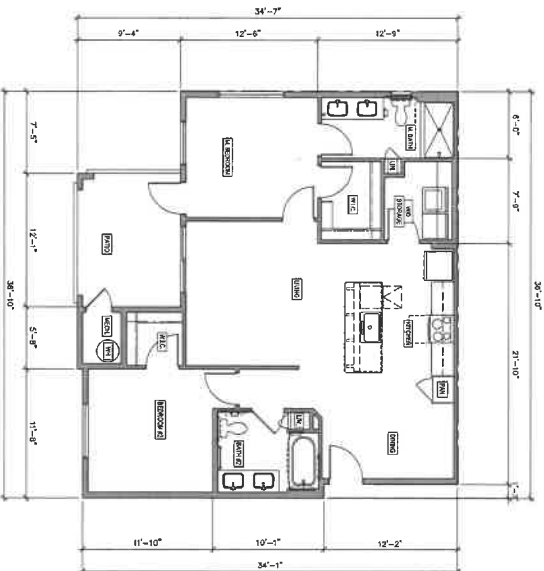
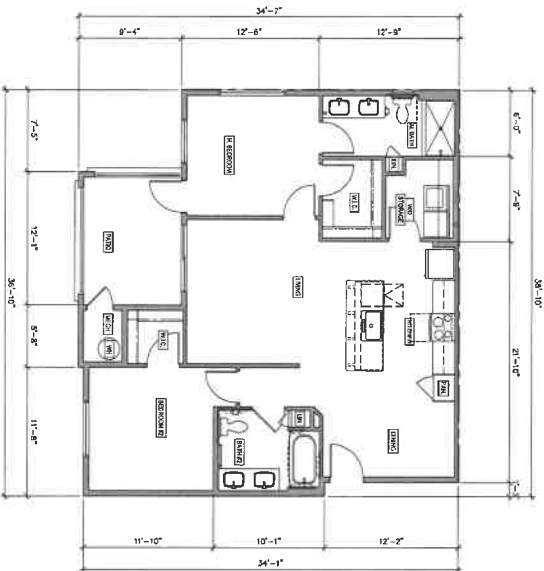
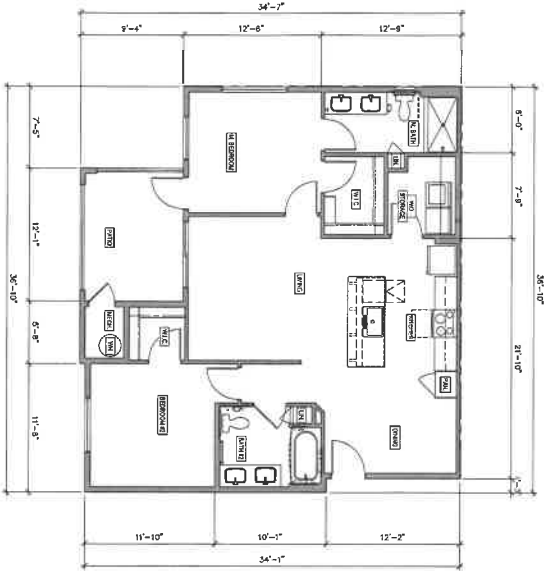


UNIT A1.3  
2ND FLOOR  
PART 04.8 S.F.



UNIT B2.2  
2 BED / 2 BATH  
PATIO 46 S.F.

UNIT B2.1  
2 BED / 2 BATH  
PATIO 46 S.F.



UNIT B1.3  
2 BED / 2 BATH  
PATIO 102 S.F.

UNIT B1.2  
2 BED / 2 BATH  
PATIO 102 S.F.

UNIT B1.1  
2 BED / 2 BATH  
PATIO 102 S.F.



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1450 West Coast Court, Suite 100, Reno, NV 89502  
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PECOS AND ROME  
Apartment Homes  
S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA  
C & M RESIDENTIAL LLC  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118

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A2.2  
UNIT PLANS  
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biltform architecture  
Group of Nevada, Inc.  
1469 West Lake Mead Blvd., Suite 1  
Las Vegas, NV 89135  
Phone: 623.833.0001 Fax: 623.833.0002

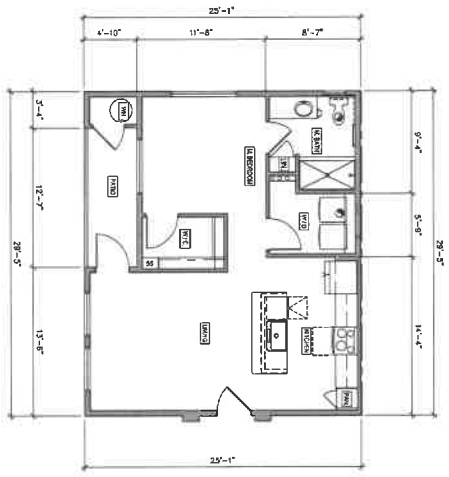
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CONSTRUCTION

PECOS AND ROME  
Apartment Homes  
S.W.C. OF N. PECOS ROAD AND ROME BLVD., NORTH LAS VEGAS, NEVADA  
C & M RESIDENTIAL LLC  
6430 ARVILLE STREET, LAS VEGAS, NV. 89118

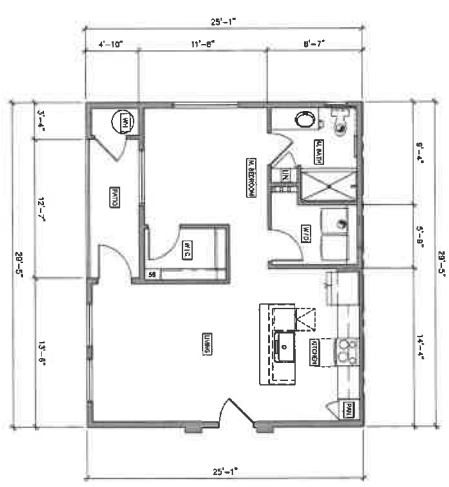
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A2.3  
UNIT PLANS

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UNIT S12  
7TH FLOOR  
PATIO: 68 S.F.



UNIT S11  
7TH FLOOR  
PATIO: 68 S.F.

No liability is assumed for the accuracy of the data delineated herein. Information on roads and other non-assessed parcels may be obtained from the Road Document Listing in the Assessor's Office.

USE THIS SCALE (FEET) WHEN MAP REDUCED FROM 11X17 ORIGINAL



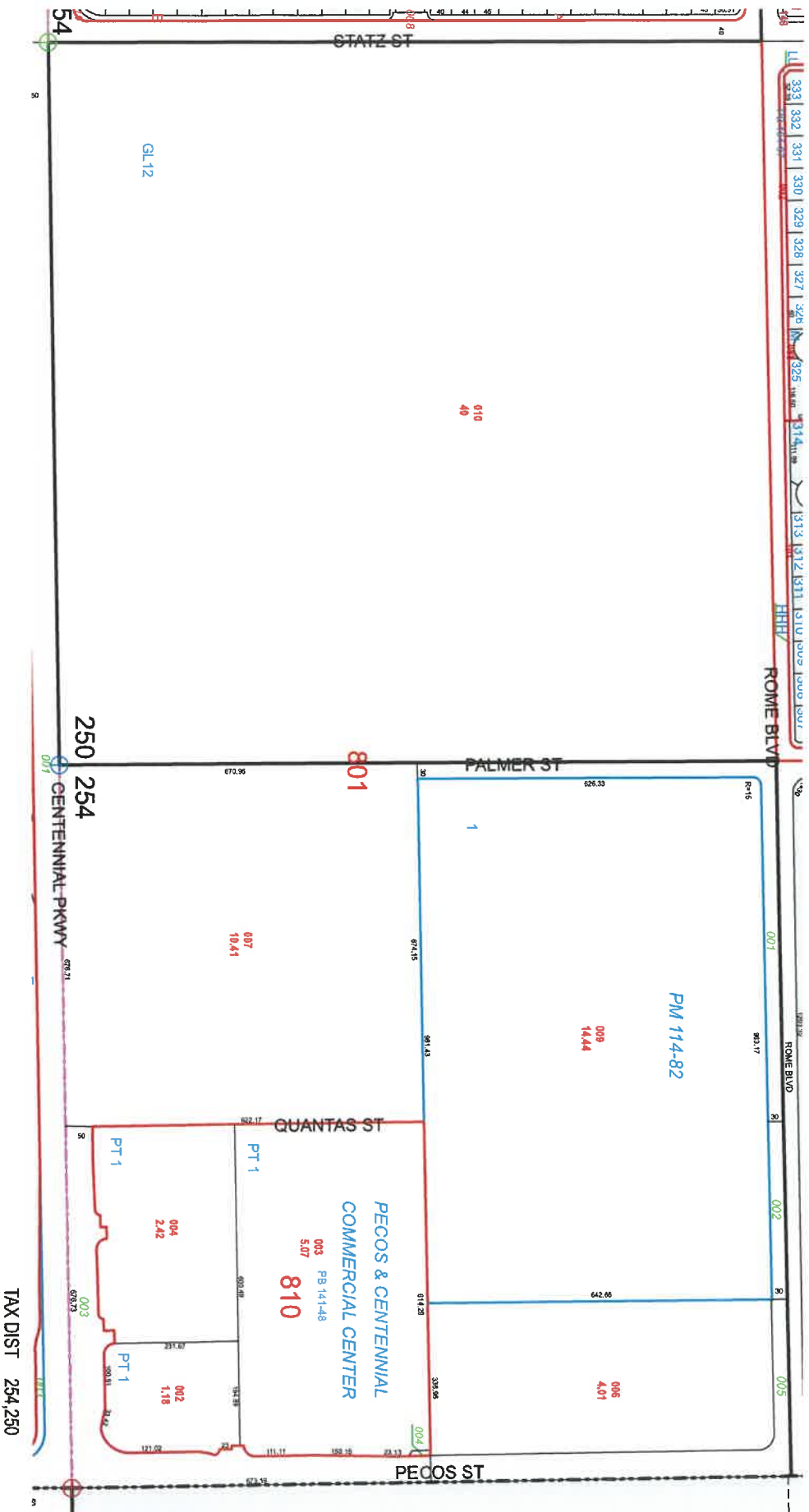
**Briana Johnson - Assessor**

PARCEL BOUNDARY		CONDOMINIUM UNIT	007 ROAD PARCEL NUMBER
PARCEL BOUNDARY		AIR SPACE PCL.	001 PARCEL NUMBER
PALMD BOUNDARY		RIGHT OF WAY PCL.	1.00 ACREAGE
MATCH/LEADER LINE		SUB-SURFACE PCL.	202 PARCEL SUBSUGA NUMBERS
HISTORIC LOT LINE			24-45 PLAT RECORDING NUMBER
HISTORIC PALMD BOUNDARY			5 LOT NUMBER
HISTORIC LOT LINE			5 BLOCK NUMBER
SECTION LINE			GL5 GOV. LOT NUMBERS

24 SEC.

S 2 SE 4

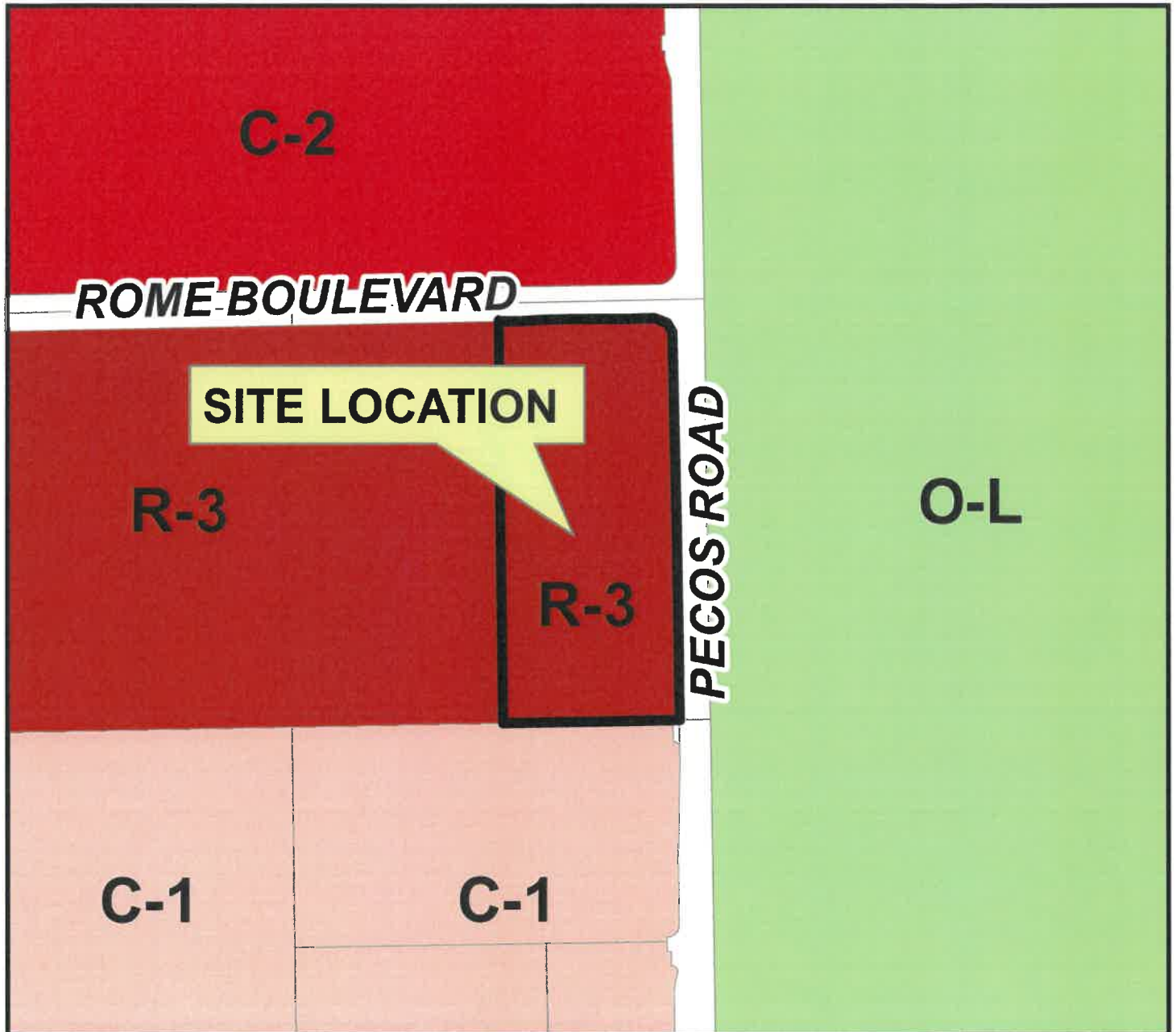
124-24-8





# THE CITY OF NORTH LAS VEGAS

## Location & Zoning Map



Applicant: FDG Ardour Pecos, LLC  
Application: Site Plan Review  
Request: An extension of time to allow a 100-unit, multi-family development  
Project Info: Generally located on the southwest corner of Pecos Road and Rome Boulevard  
Case Number: SPR-01-2022

03/06/2024

